

REMEDIAL  
OF  
DRUMMOND STREET COMPLEX  
FOR  
MOUNT COOK, WELLINGTON  
LOT 1 DP 90314

DRAWING REGISTER

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SITE NOTES

This site is zoned as a MEDIUM wind zone. Ensure all appropriate fixings, connections, tie downs, glazing, etc are used for this site. This site is zoned as exposure zone C. Ensure all materials comply with this zone. Minimum clearances between floor level and ground level to be 150mm to sealed ground and 225mm to unsealed ground

GENERAL CONSTRUCTION NOTES:

All work to comply with the NZBC, council requirements and any relevant Building Standards and best trade practices. All references to NZ standards and codes are to be taken to mean the latest versions. Do not scale from any drawing - if it is not dimensioned do not scale. Check any requirements of the approved resource consent documents if applicable. Install all materials/products/systems in accordance with the manufacturer's specifications and instructions. Consult with manufacturer if required. Any elements designed by an engineer must be checked on site by that engineer. It is the contractor's responsibility to ensure the engineer inspects the work and that written evidence is provided to the council as required. All details to be constructed as detailed. Any variations must be approved by Wellington City Council as a Building Consent amendment. Contractor to check all dimensions on site. Contact designer where any contradictions exist. Refer to both the main specification and the addenda specifications during construction. Refer to the engineers drawings and details if involved during construction.

FRAMING NOTES:

All bottom plates, lintels to external walls and wall framing to wet areas to be H3.2. All other framing to be H1.2 treated kiln dried timber unless otherwise specified. All timber to be MSG8 graded unless specified otherwise. Stud sizes and centres to comply with NZS3604:2011 / as per A100b. All fixings to be 3.16 stainless steel. All opening lintels, head trimmer and sill trimmers to be connected to studs to comply with NZS3604:2011 / as per A100b. Fixings around openings to resist uplift are to be in accordance with NZS 3604:2011 / as per A100b. Bottom plates fixed with 316 stainless steel M12 truebolts & 50x50x3mm washers to comply with NZS3604:2011 or approved anchors installed to manufacturer's specifications. Where concrete nibs are to be installed allow to fix as per construction drawing A418. Stud to plate fixings to comply with NZS 3604:2011 / as per A100b or approved hold down connections. Installed to manufacturer's specifications.

CONSTRUCTION NOTES:

13mm GIB board to ceilings.  
10mm GIB board to walls.  
Villaboard 9mm to wet areas.  
70x35 timber ceiling battens at 600crs.  
Skirtings to be confirmed with owner.  
Bracing to be installed to manufacturers specifications

CLADDING NOTES:

Return building wrap into all openings as required by NZBC E2 and fix with approved flexible flashing tape. Install flashings to comply with NZBC E2 and NZS3604 and to manufacturer's requirements. All flashing laps to comply with NZBC E2/AS1 if not fully welded. Install air seals as per schedule of works.

INSULATION NOTES:

The contractor should assess the condition of all existing insulation and any undamaged, uncontaminated and dry insulation suitable for re-use should be removed for future reinstatement. All contaminated, wet or discoloured insulation is to be removed from site for disposal.

SCHEDULE OF TIMBER TREATMENT:

H1.2

- Low risk interior wall framing.
- Intermediate interior floor framing.

H3.1

- Cavity battens and fascia boards

H3.2

- Framing protected from the weather, above ground with the possibility of exposure to moisture.
- Exterior walls protected from the weather.
- Wall framing.
- Subfloor framing except piles.
- Framing exposed to intermittent moisture, above ground but protected from the weather by an approved paint system or cladding.
- Wall and floor framing to at risk wet areas.
- Roof framing below 10 degrees
- Exterior painted posts and beams
- Enclosed lintels and posts supporting enclosed balconies.
- Enclosed balcony ply and joists.
- Framing protected from the weather and above ground (not sub-floor framing).
- Roof and ceiling framing purlins
- Framing exposed to the weather above ground with a risk of trapped water.
- External rafters and beams.
- Timber slatted decking joists and bearers.
- Fence pailings and rails not in contact with ground.

H5

- Timber in contact with the ground.
- Piles.

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Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

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0 Tender 01 TJ 07/12  
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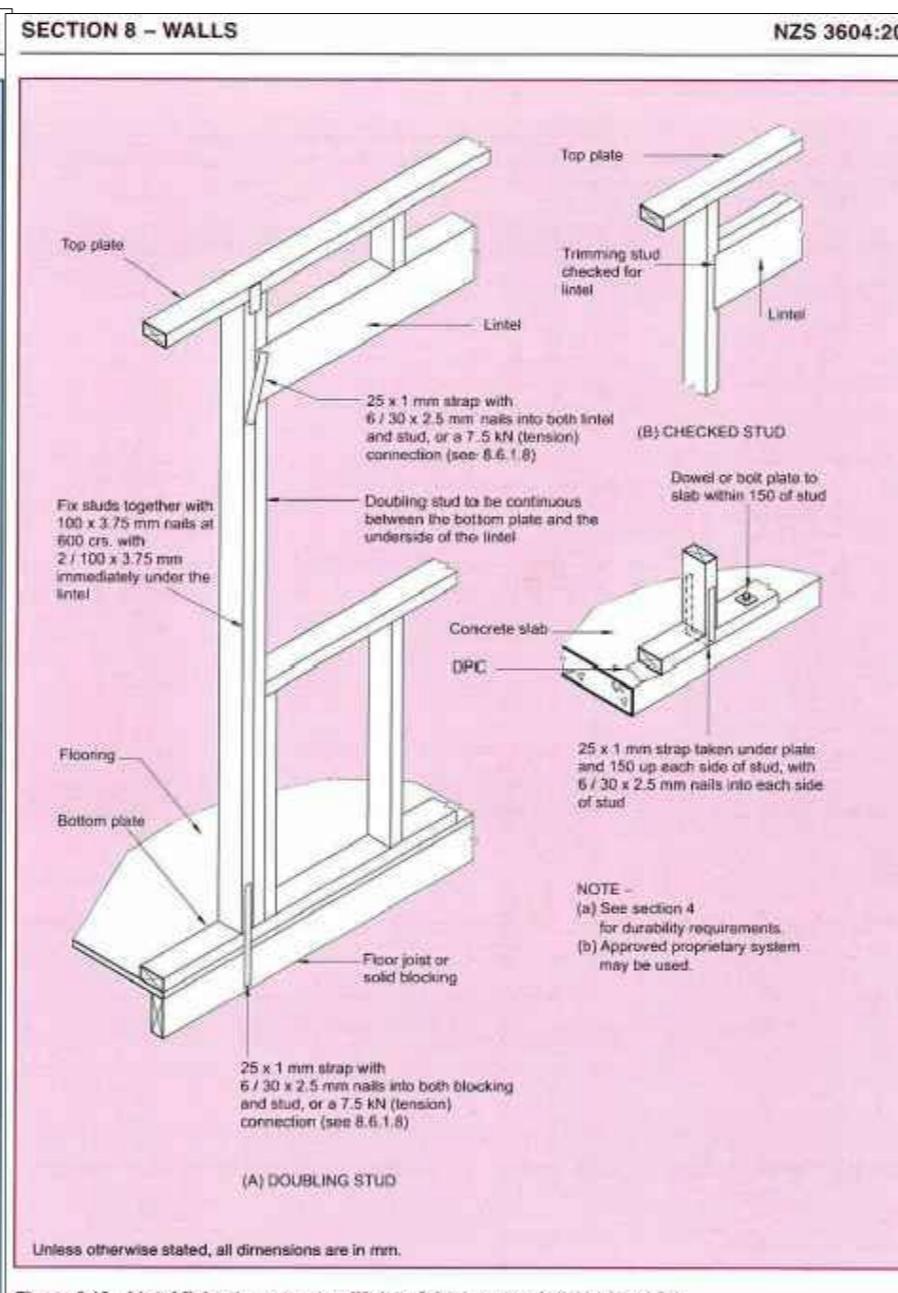
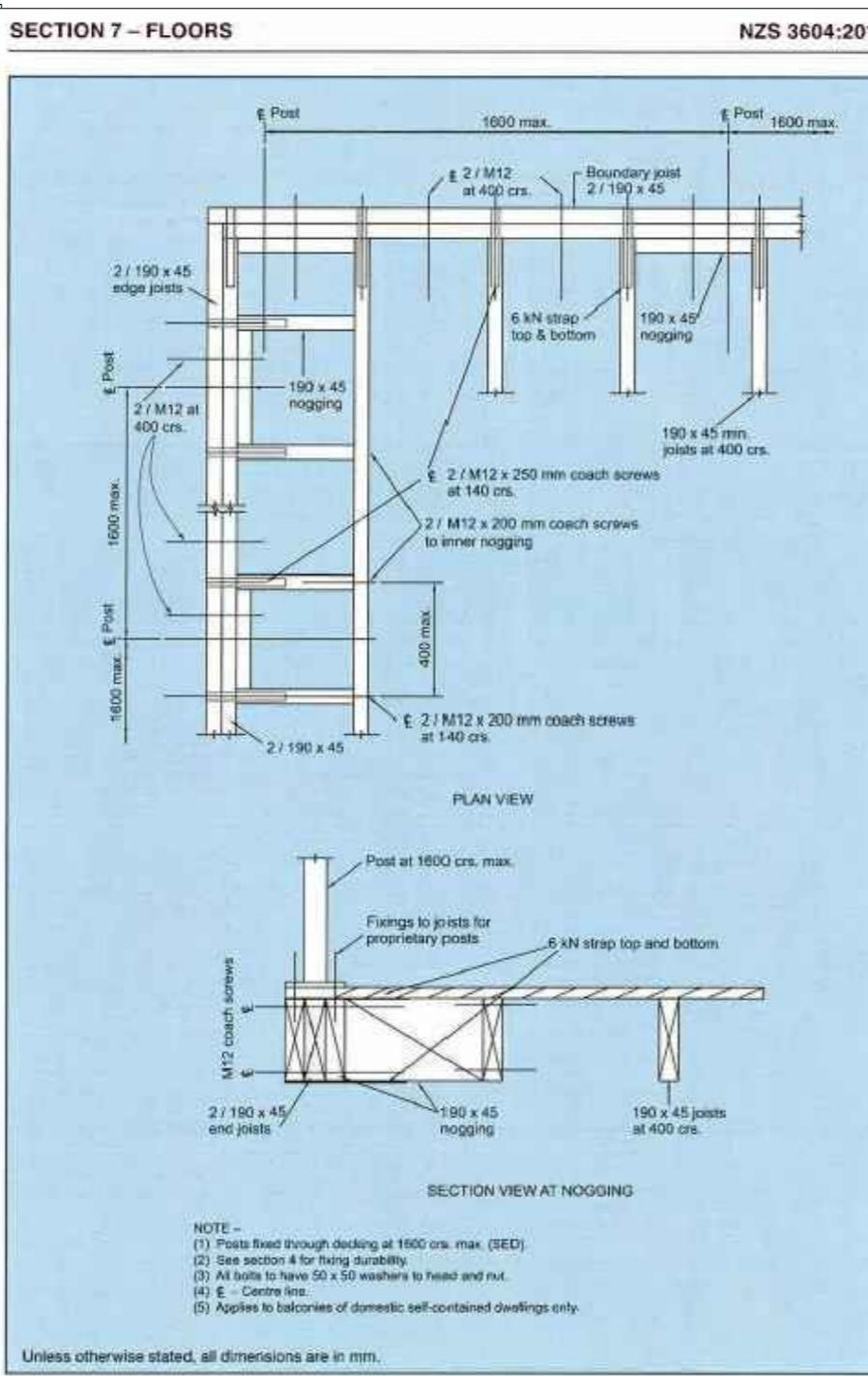
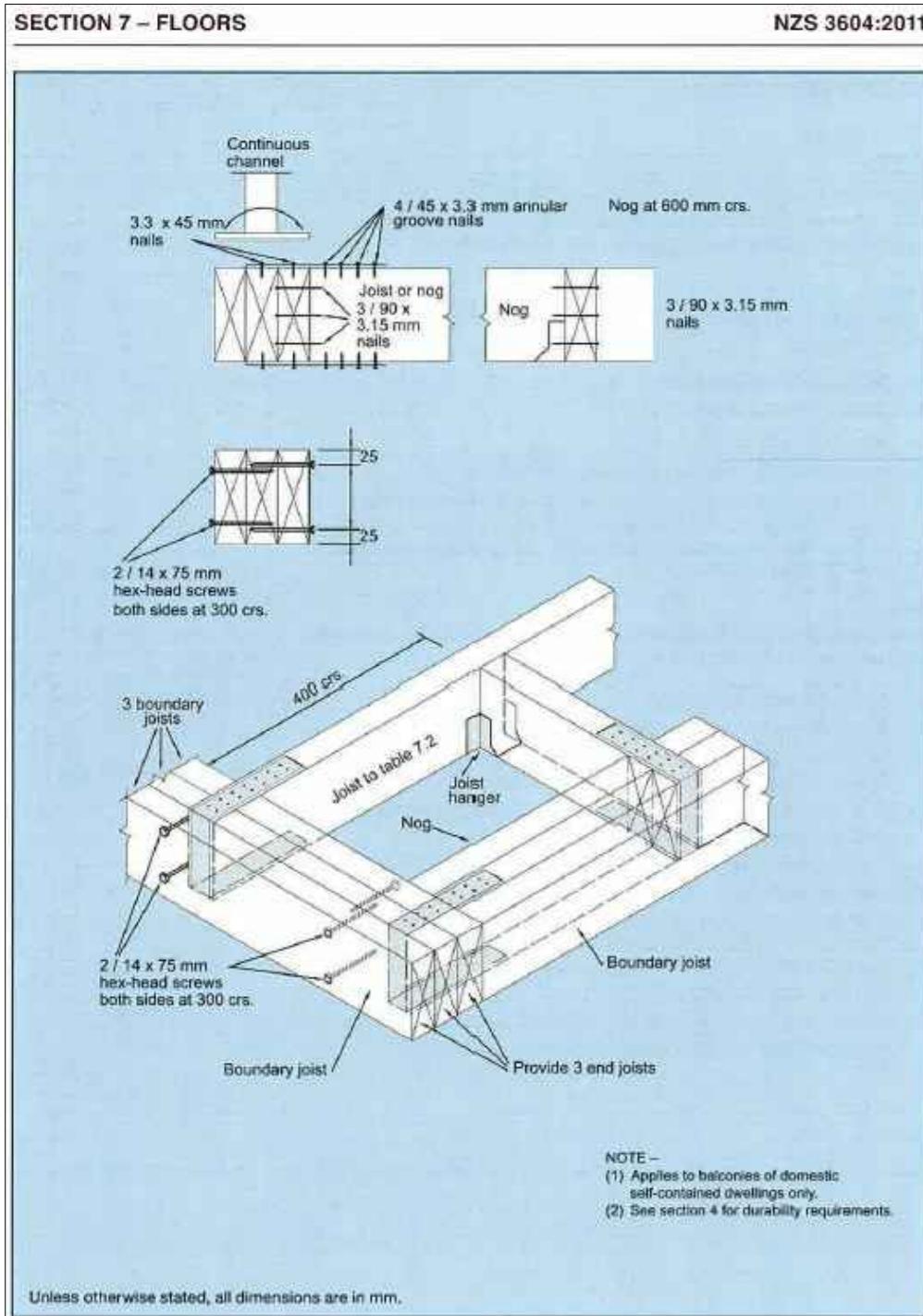
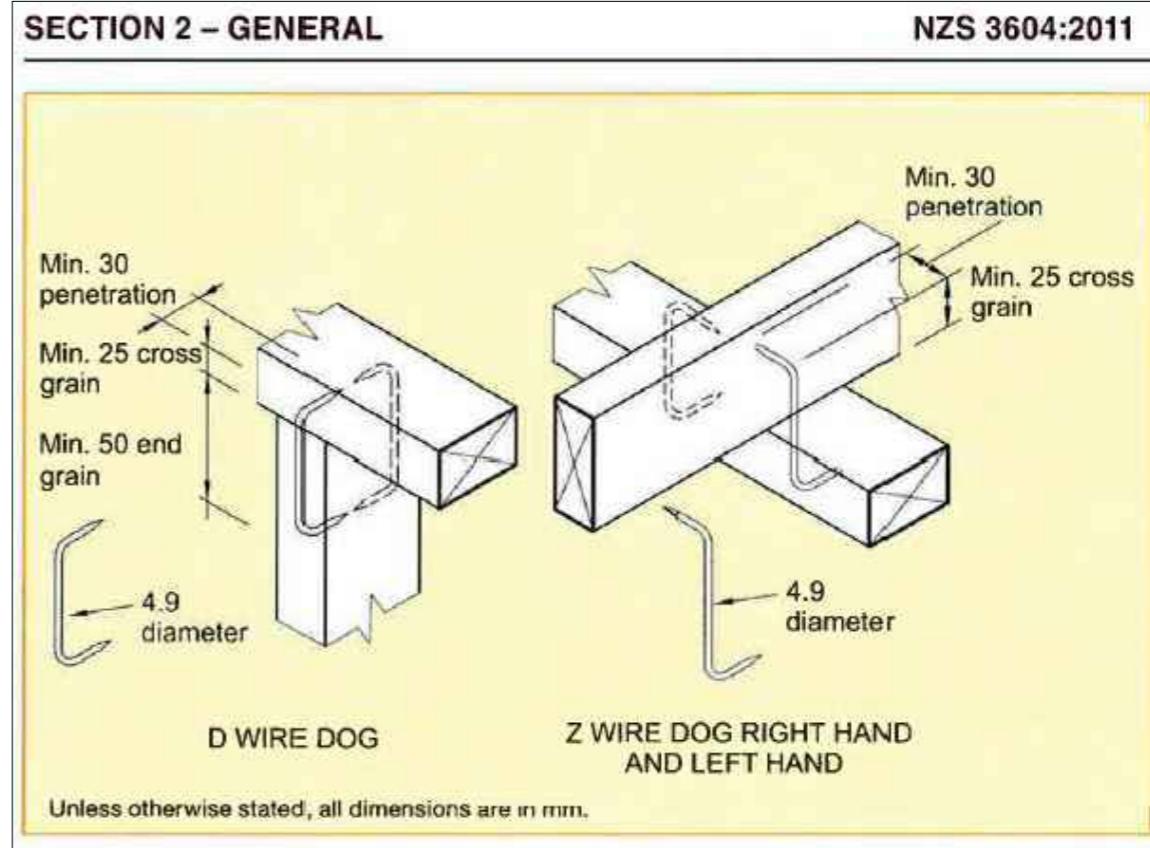
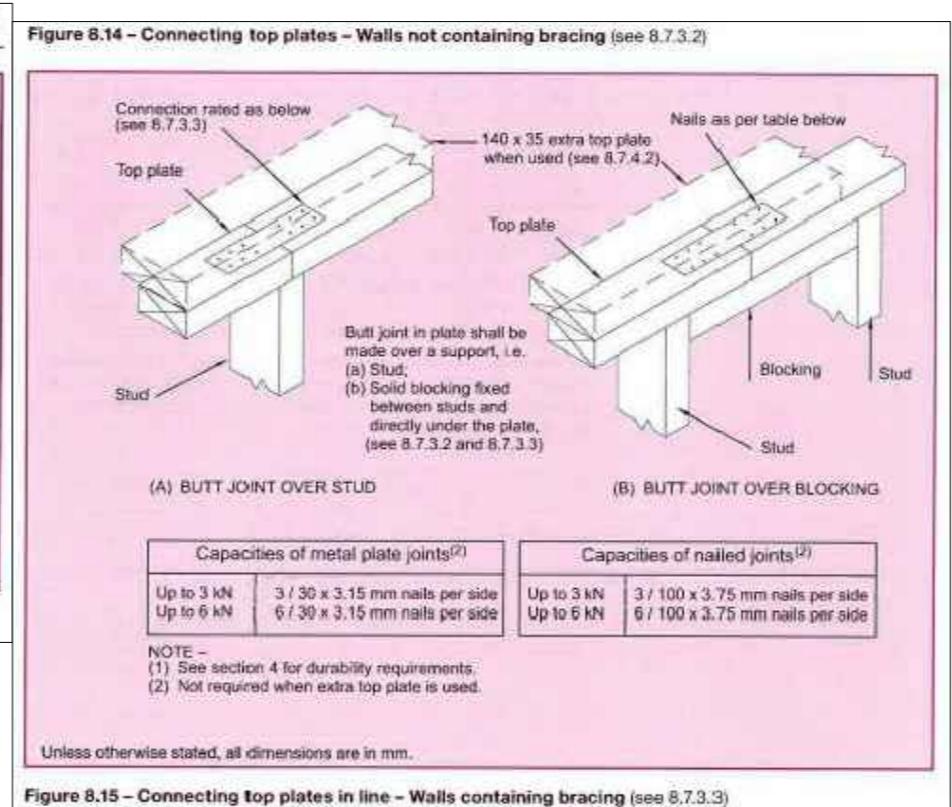
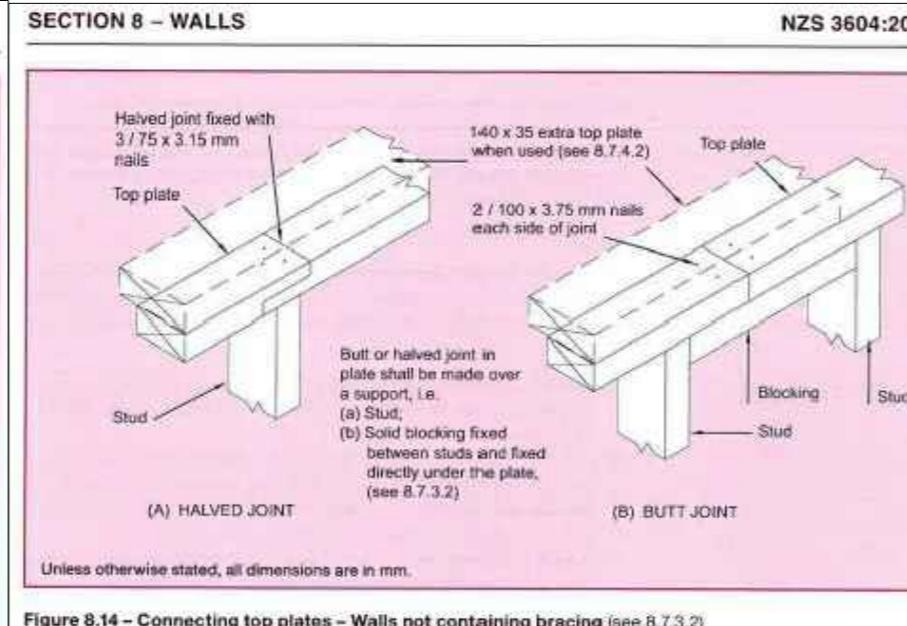
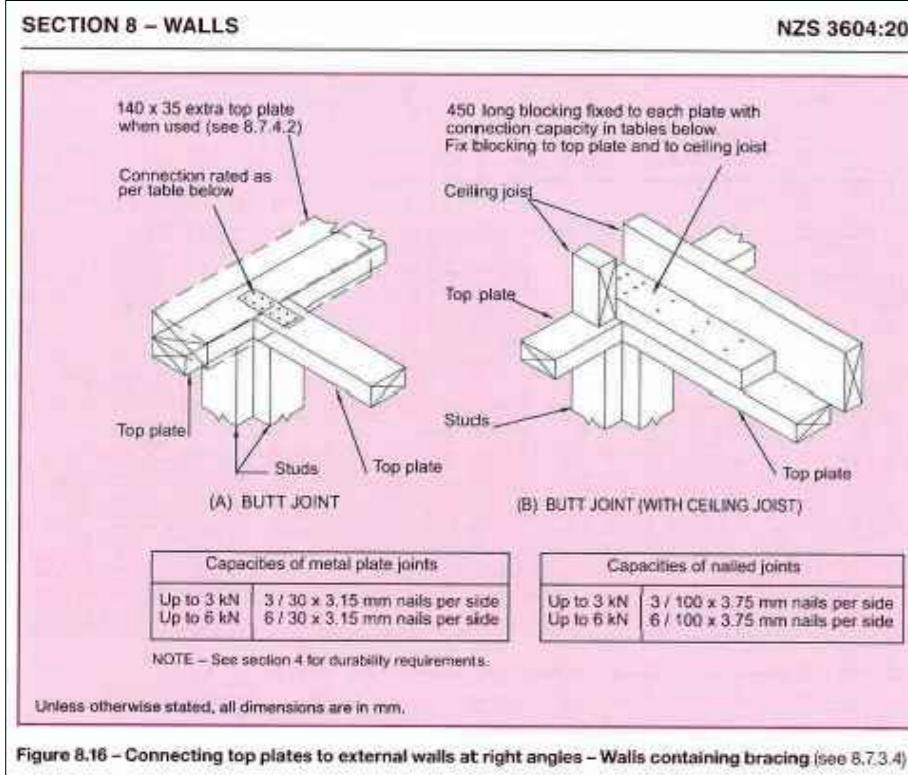


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Project: Remedial Works  
For Weathertightness  
Drummond Street Complex  
Mount Cook  
Wellington  
Title: Cover Page  
Floor Plan

Issue: Building Consent/Tender  
Drawn: TJ Date: July 2013  
Checked: DS Scale: NTS

Number: Rev:  
A000 A



Joint	Hand-driven nails		Power-driven nails	
	Length (mm) x diameter (mm) and type	Number/Location	Length (mm) x diameter (mm) and type	Number/Location
Bottom plate to floor framing at:				
(a) External walls and internal wall bracing elements	100 x 3.75	2 at 600 mm centres	90 x 3.15	3 at 600 mm centres
(b) Internal walls (may be nailed to floor decking)	100 x 3.75	1 at 600 mm centres	90 x 3.15	1 at 600 mm centres
(c) Trimmer not exceeding 4.2 m long	100 x 3.75	4 (end nailed)	90 x 3.15	6 (end nailed)
Dwang to stud	75 x 3.15 or 100 x 3.75	2 (skewed)	75 x 3.06	2 (skewed)
Fishplate to straightened stud	60 x 2.8	4 each side of cut	60 x 2.8	4 (each side of cut)
Half joint in top plate	75 x 3.15	3	75 x 3.06	4
Lintel to trimming stud	75 x 3.15 or 100 x 3.75	4 (skewed)	90 x 3.15	3 (end nailed)
Ribbon board to stud	100 x 3.75	2	90 x 3.15	3
Sill or header trimmer to trimming stud for:				
(a) Trimmer not exceeding 2.4 m long	100 x 3.75	2 (end nailed)	90 x 3.15	3 (end nailed)
(b) Trimmer not exceeding 3.0 m long	100 x 3.75	3 (end nailed)	90 x 3.15	5 (end nailed)
(c) Trimmers not exceeding 3.6 m long	100 x 3.75	4 (end nailed)	90 x 3.15	6 (end nailed)
Solid plaster batten to stud	60 x 2.8 (galv.)	500 mm centres	60 x 2.8 (galv.)	500 mm centres
Stud to plate	75 x 3.15 or 100 x 3.75	4 (skewed)	75 x 3.06	4 (skewed)
Top plate 140 mm x 35 mm to 90 mm x 45 mm and top plate to lintel	100 x 3.75	2 at 500 mm centres	90 x 3.15	3 at 500 mm centres
Trimming studs at openings, blocking and studs at wall intersections	100 x 3.75	600 mm centres	90 x 3.15	600 mm centres
Trimming stud to doubled stud immediately under lintel	100 x 3.75	2	90 x 3.15	2
Waling to stud	60 x 2.8	2	60 x 2.8	2

NOTE –  
 (1) Fixings fixed through decking at 1600 crs. max. (S6D).  
 (2) See section 4 for fixing durability.  
 (3) All fixings to have 50 x 50 washers to head and nut.  
 (4) £ – Centre line.  
 (5) Applies to balconies of domestic self-contained dwellings only.

NOTE –  
 (1) Nail lengths and diameters are the minimum required.  
 (2) Refer to 4.4 for required protective coatings for metal fasteners.  
 (3) For studs up to 2.7 in length, 2 / 90 x 3.15 power-driven nails (end nailed) are sufficient.

All fixings are to be 3.16 stainless steel

Engineer fixings are to supersede all fixings above if specified

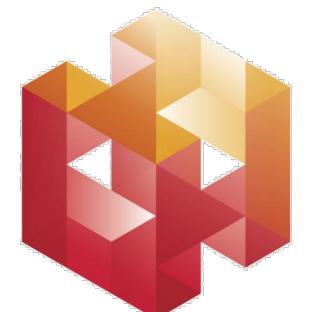
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Contractor to check All dimensions on site prior to commencing work.

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Rev Issue By Date

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Project: Remedial Works  
 For Weather-tightness  
 Drummond Street Complex  
 Mount Cook  
 Wellington

Title: Fixing Requirements

Issue: Building Consent/Tender

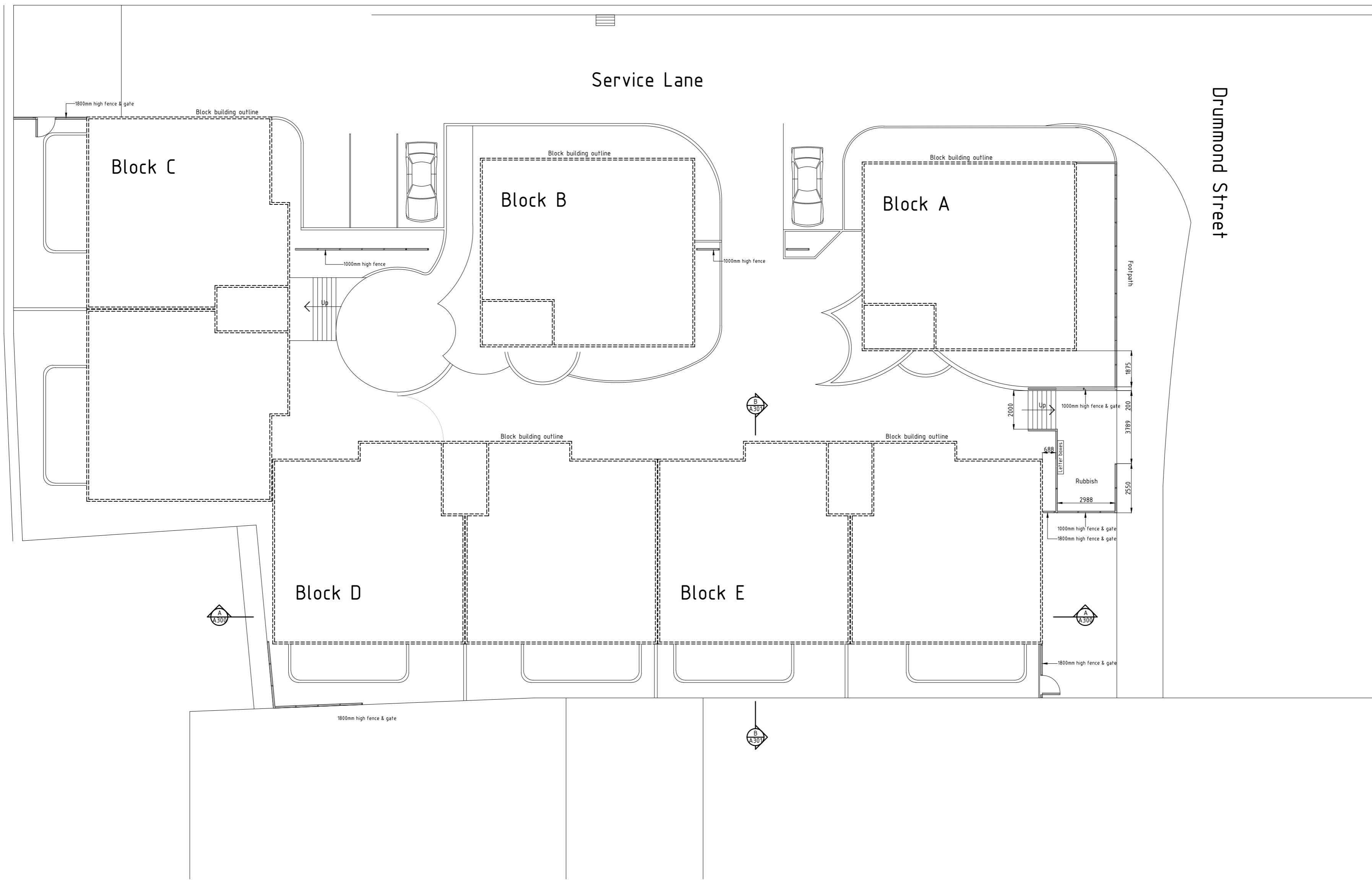
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A000b A

NOTE:



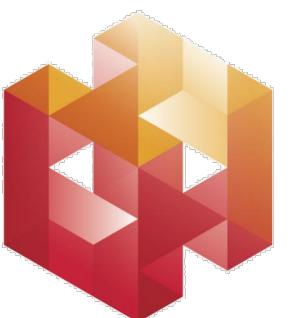
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Project: Remedial Works  
 For Weathertightness  
 Drummond Street Complex  
 Mount Cook  
 Wellington

Title: Site Plan

Issue: Building Consent/Tender

Drawn: TJ Date: July 2013

Checked: DS Scale: 1:150@A2

Number: Rev:

A100 A

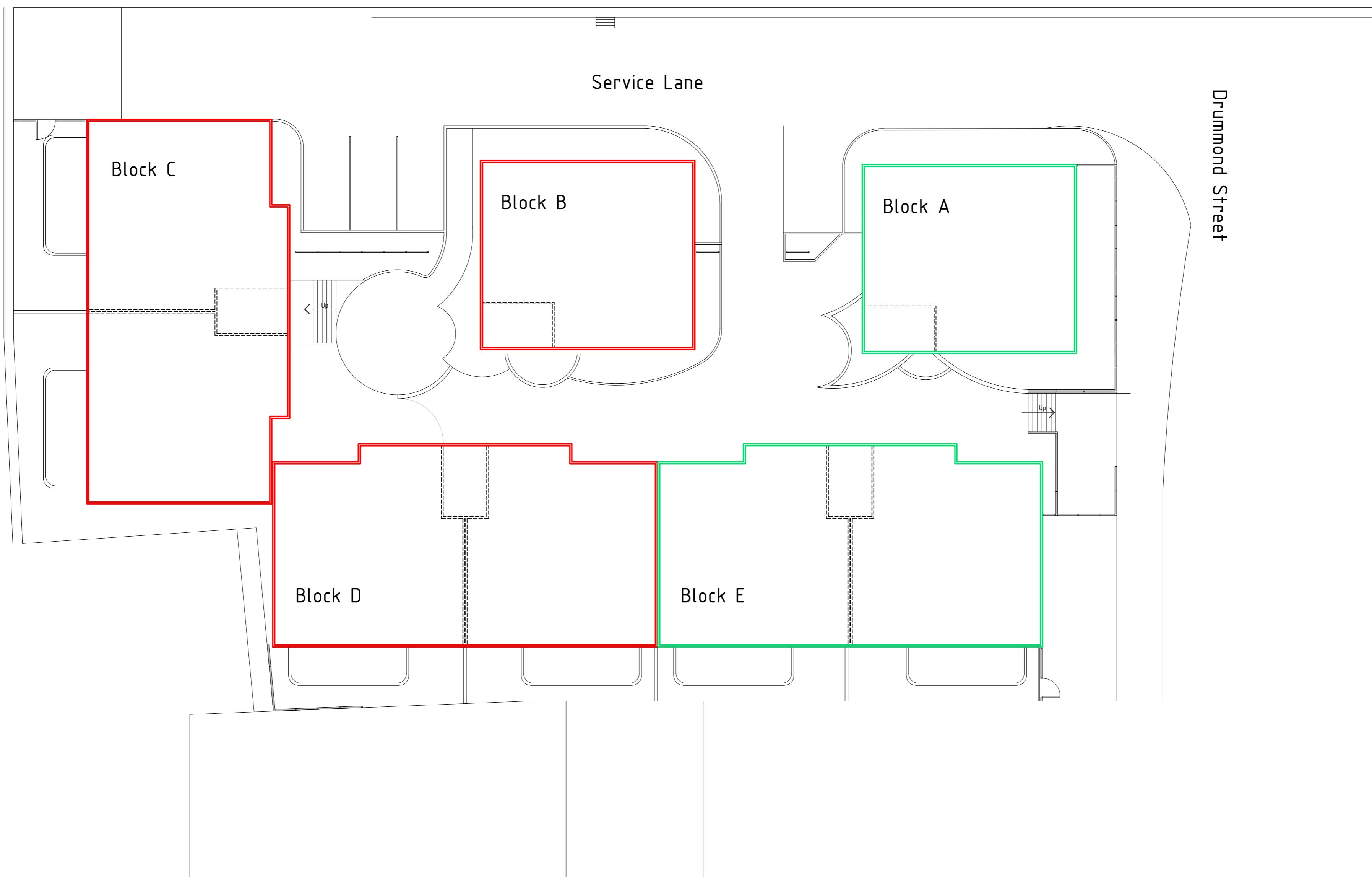
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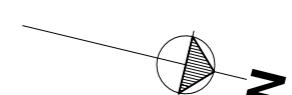
Stage One:   
Blocks B, C & D

NOTE:  
\* Blocks B and D to take priority of completion over Block C. Refer Schedule of Works.

Stage Two:   
Blocks A & E



SITE PLAN - CONSTRUCTION STAGES:  
OPTION ONE



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Project: Remedial Works  
For Weathertightness  
Drummond Street Complex  
Mount Cook  
Wellington

Title: Site Plan  
Construction Stages  
Option One

Issue: Building Consent/Tender  
Drawn: TJ Date: July 2013

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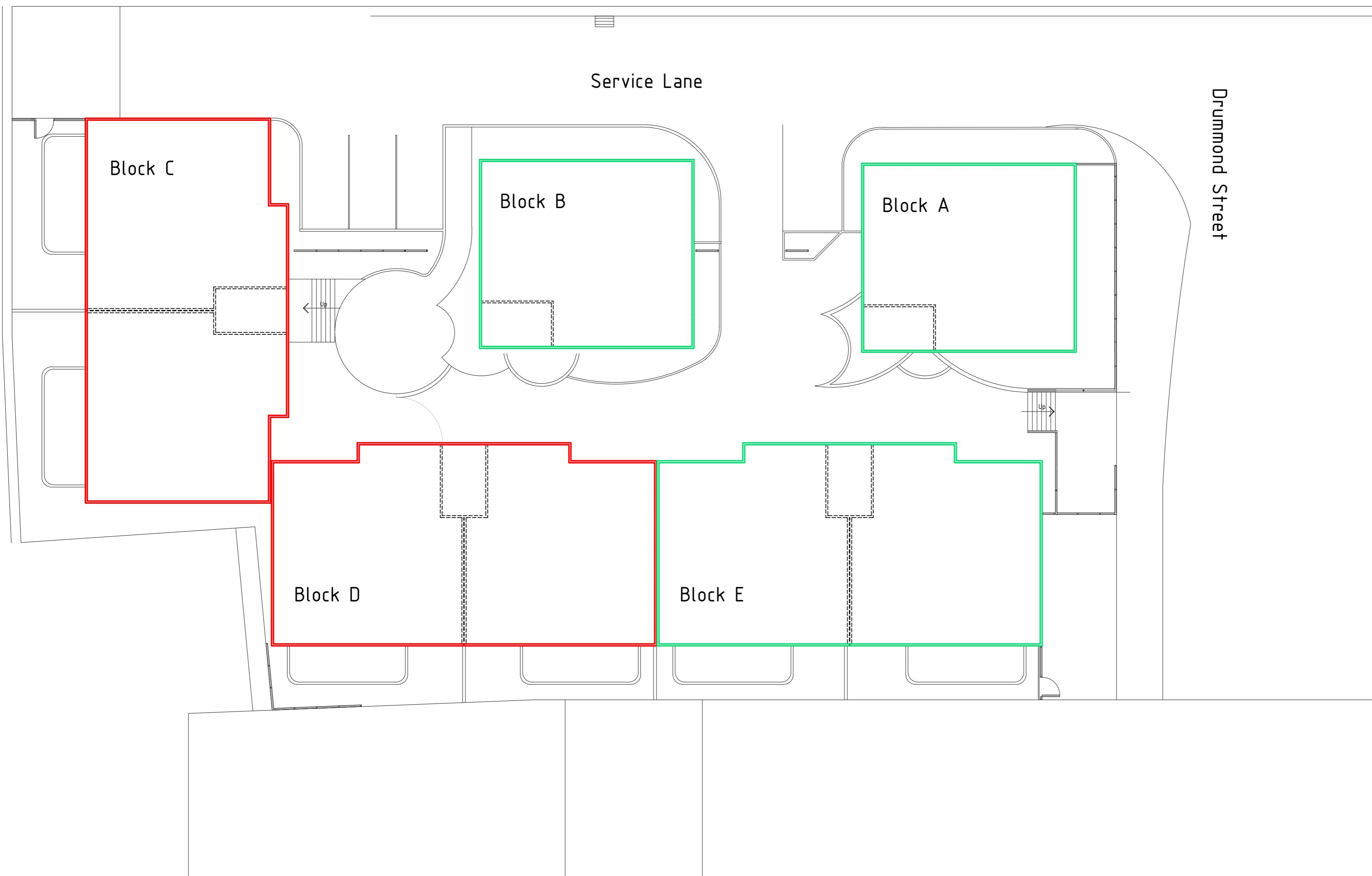
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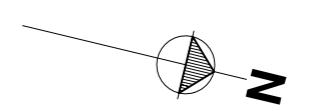
Stage One:  
Blocks C & D



Stage Two:  
Blocks A, B & E

**SITE PLAN - CONSTRUCTION STAGES:  
OPTION TWO**



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**Project:** Remedial Works  
For Weathertightness  
Drummond Street Complex  
Mount Cook  
Wellington

**Title:** Site Plan  
Construction Stages  
Option Two

**Issue:** Building Consent/Tender  
Drawn: TJ Date: July 2013  
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**Number:** Rev:  
A100c A

NOTE:

\* All existing wall claddings, & building wrap is to be removed & disposed of.  
 \* Timber & steel framing to be remediated where specified - Engineer to determine on site.  
 \* All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged, wet or surplus insulation is to be disposed of.  
 \* Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.

ALUMINIUM JOINERY:  
 \* All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect following removal. Joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the engineer.

STORMWATER:  
 \* Existing gutters are to be retained unless otherwise specified by the Engineer.  
 \* Remove & dispose of all existing 80mm PVC downpipes. After existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes.

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Project: Remedial Works  
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 Drummond Street Complex  
 Mount Cook  
 Wellington

Title: Existing Ground  
 Floor Plan

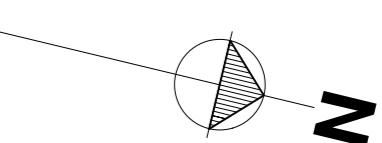
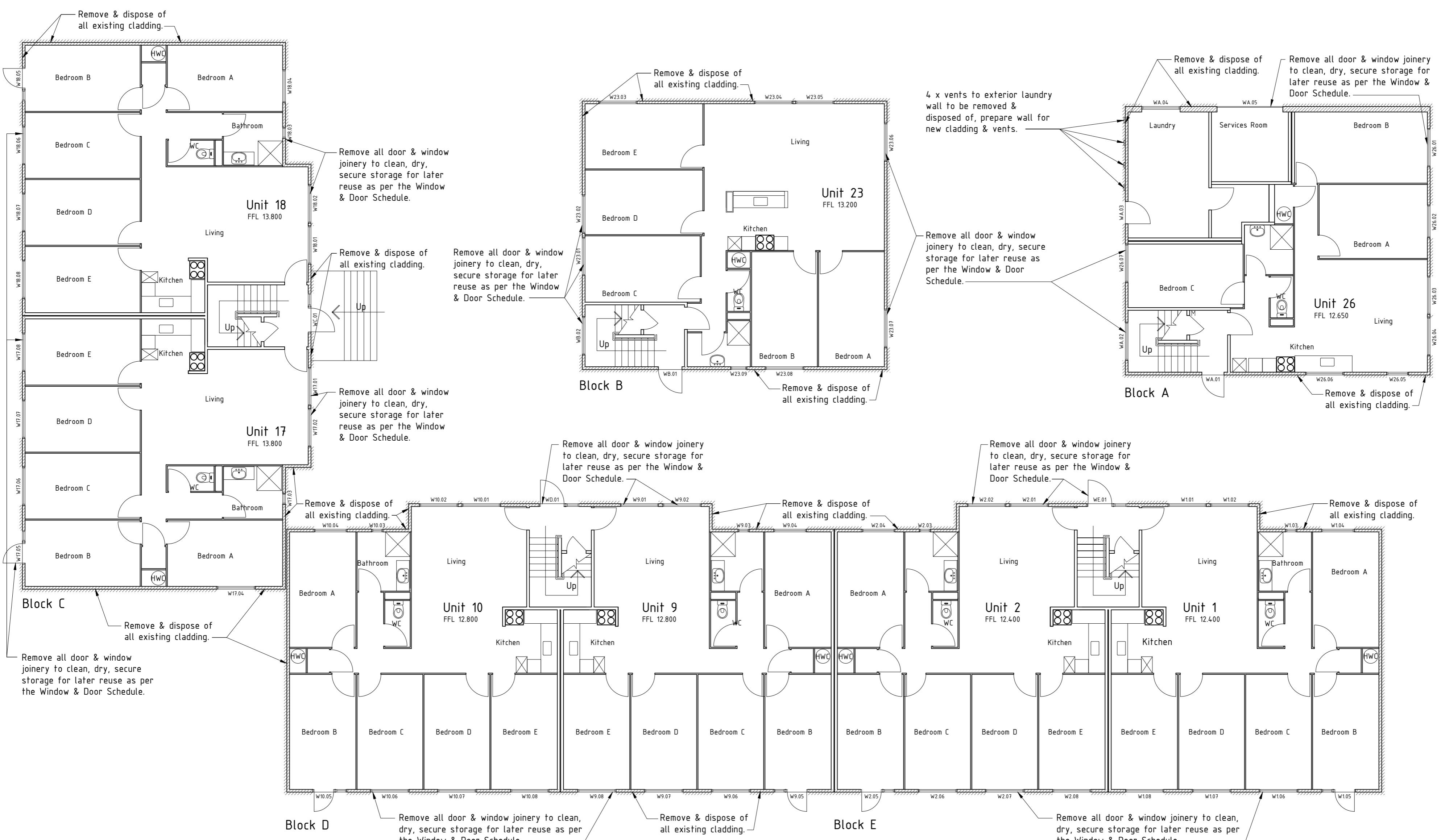
Issue: Building Consent/Tender

Drawn: TJ Date: July 2013

Checked: DS Scale: 1:100@A2

Number: A101 Rev: A

EXISTING GROUND FLOOR PLAN :



NOTE:

- \* All existing wall claddings, & building wrap is to be removed & disposed of.
- \* Timber & steel framing to be remediated where specified - Engineer to determine on site.
- \* All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged, wet or surplus insulation is to be disposed of.
- \* Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.
- ALUMINIUM JOINERY:**
  - \* All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect following removal. Joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the Engineer.
- STORMWATER:**
  - \* Existing gutters are to be retained unless otherwise specified by the Engineer.
  - \* Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes.

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Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

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Project: Remedial Works  
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Drummond Street Complex  
Mount Cook  
Wellington

Title: Existing First  
Floor Plan

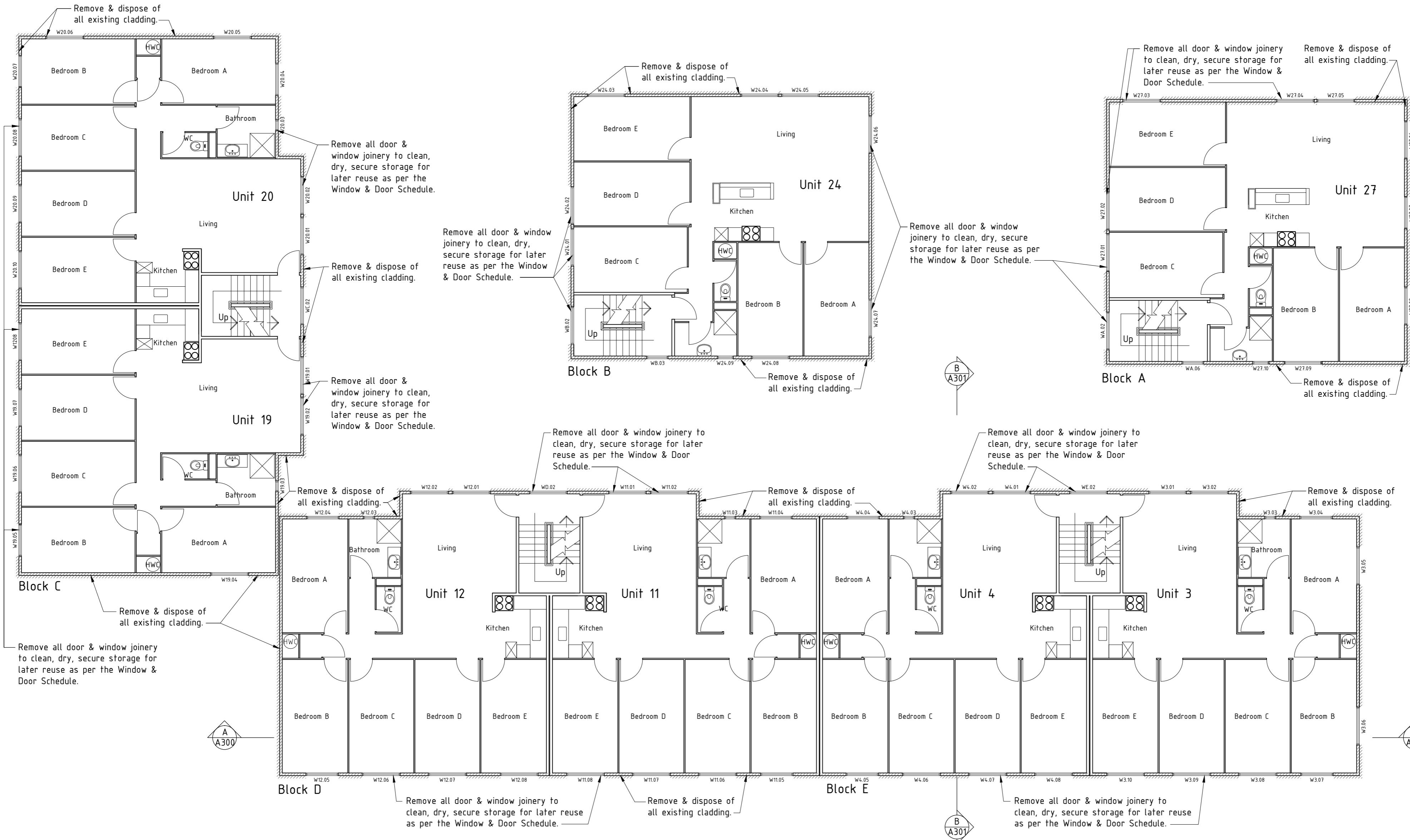
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Number: Rev:

A102 A



NOTE:

- \* All existing wall claddings, & building wrap is to be removed & disposed of.
- \* Timber & steel framing to be remediated where specified - Engineer to determine on site.
- \* All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged, wet or surplus insulation is to be disposed of.
- \* Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.

ALUMINIUM JOINERY:

- \* All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect following removal. Joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the engineer.

STORMWATER:

- \* Existing gutters are to be retained unless otherwise specified by the Engineer.
- \* Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting dropers as required to accommodate installation of new 100mm downpipes.

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Project: Remedial Works  
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Wellington

Title: Existing Second  
Floor Plan

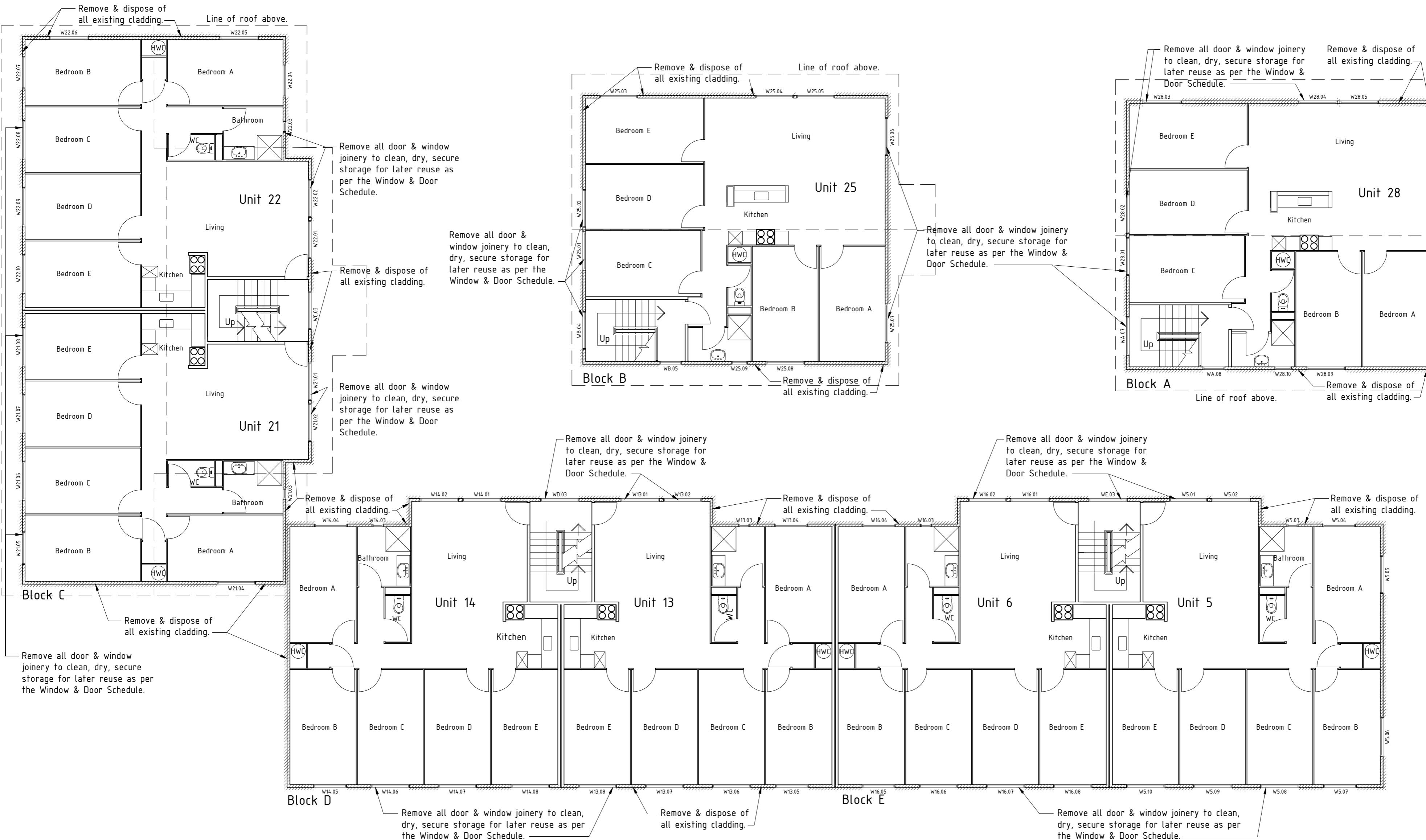
Issue: Building Consent/Tender

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Number: A103 Rev: A

EXISTING SECOND FLOOR PLAN :



NOTE:

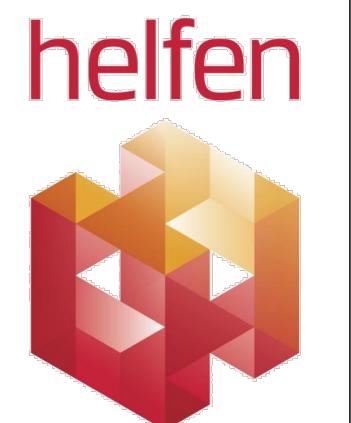
- \* All existing wall claddings, & building wrap is to be removed & disposed of.
- \* Timber & steel framing to be remediated where specified - Engineer to determine on site.
- \* All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged, wet or surplus insulation is to be disposed of.
- \* Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.
- ALUMINIUM JOINERY:**
  - \* All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect following removal. Joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the engineer.
- STORMWATER:**
  - \* Existing gutters are to be retained unless otherwise specified by the engineer.
  - \* Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting dropovers as required to accommodate installation of new 100mm downpipes.

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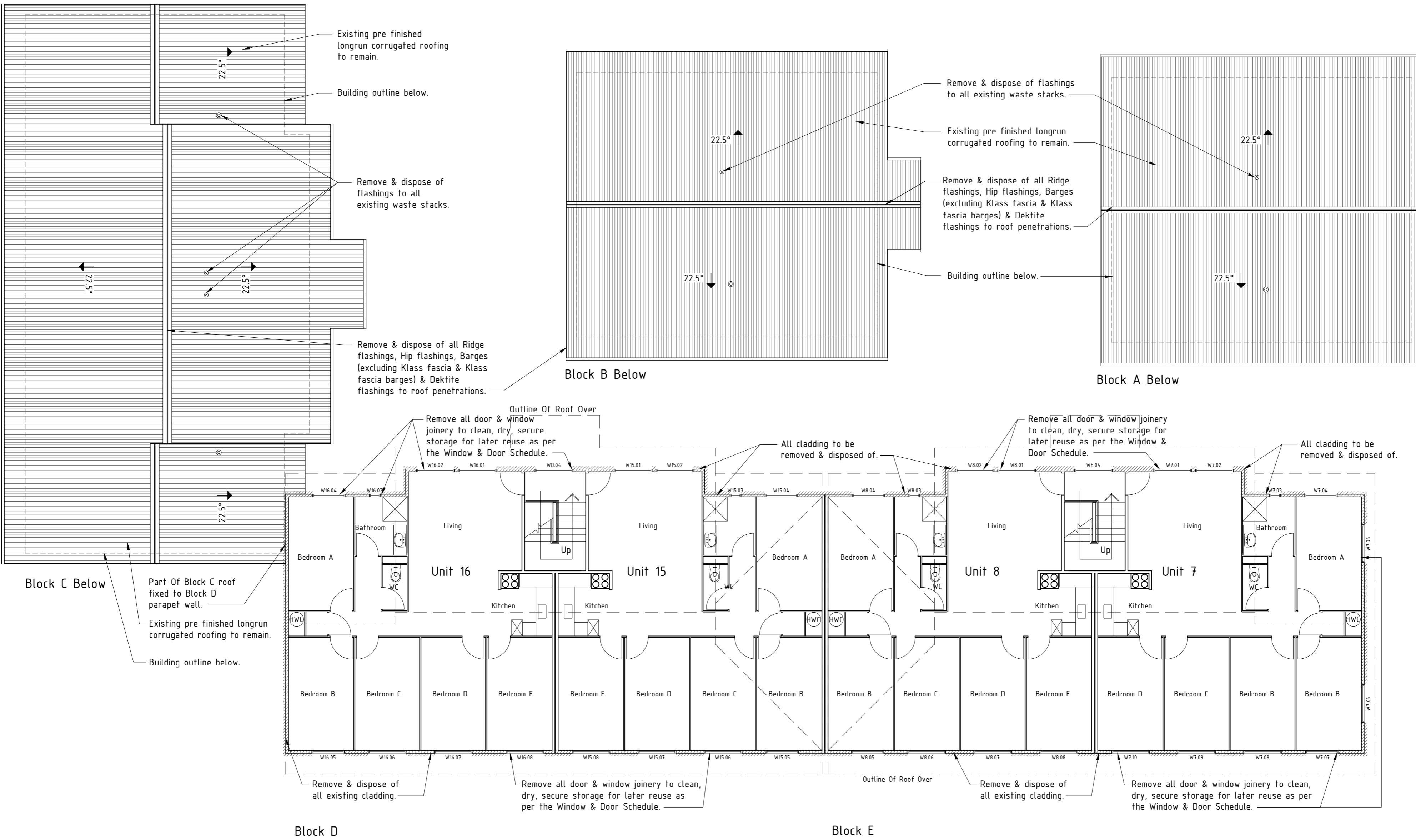
Title: Existing Third  
Floor Plan

Issue: Building Consent/Tender

Drawn: TJ Date: July 2013

Checked: DS Scale: 1:100@A2

Number: A104 Rev: A



EXISTING THIRD FLOOR PLAN :

**NOTE:**

**ROOF:**

- \* Existing roof cladding to be retained unless instructed otherwise by the Engineer.
- \* Remove & dispose of all existing Ridge flashings, Hip flashings, Barge flashings (excluding Klass fascia & Klass fascia Barges) & Dekrite flashings to roof penetrations.
- \* All Klass fascias, spouting & Klass fascia Barges to be cleaned, inspected & remediated as instructed by the Engineer.
- \* Existing gutters are to be retained unless otherwise specified by the Engineer.
- \* Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes.
- \* Remove & replace all existing roof tek screws with new like for like.
- \* Call on Engineer to inspect all bottom purlins to all roof perimeters & remove and replace or remediate as instructed.

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[fax] 04 380 9049  
[email] info@helfen.co.nz

**Project:** Remedial Works  
For Weathertightness  
Drummond Street Complex  
Mount Cook  
Wellington

**Title:** Existing Roof Plan

**Issue:** Building Consent/Tender

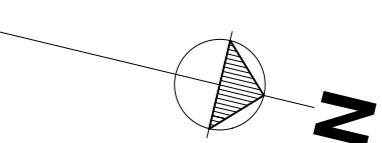
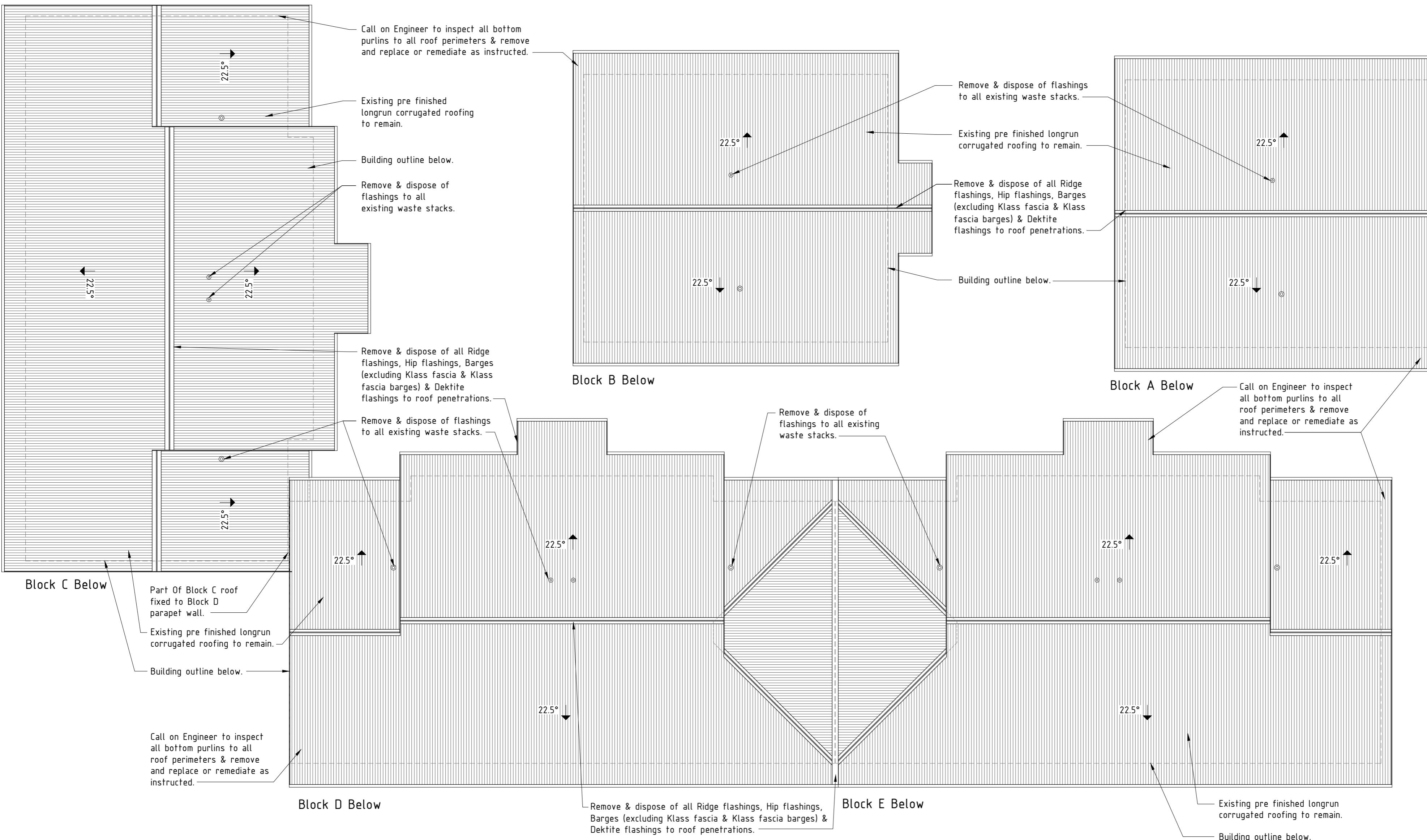
**Drawn:** TJ **Date:** July 2013

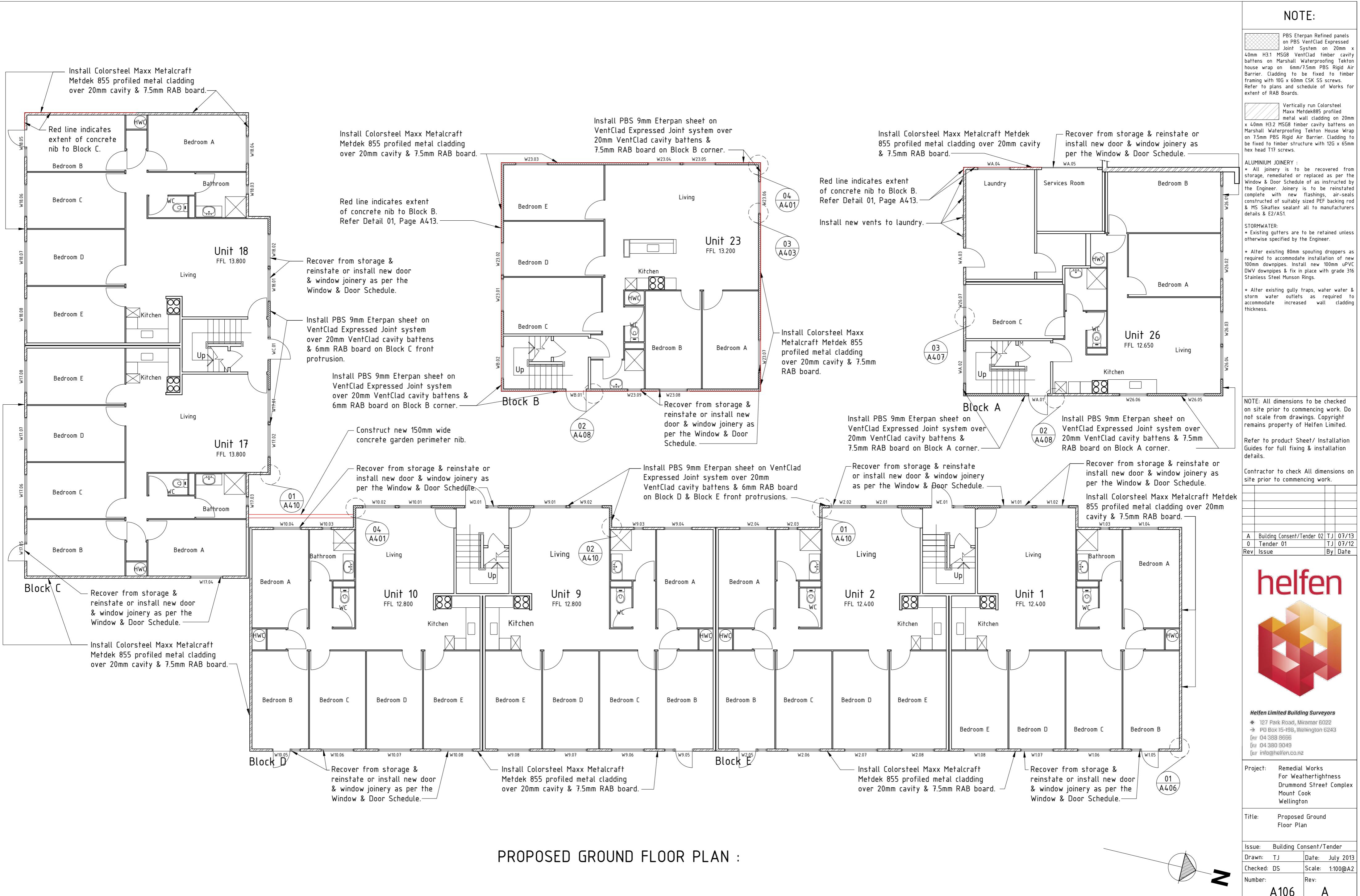
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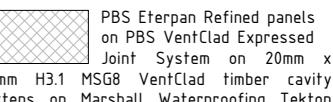
**A105** A

**EXISTING ROOF PLAN :**





NOTE:

 PBS Eterpan Refined panels on PBS VentClad Expresssed Joint System on 20mm x 40mm H3.1 MSG8 VentClad timber cavity battens on Marshall Waterproof Tekton house wrap on 6mm/7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber framing with 10G x 60mm CSK SS screws. Refer to plans and schedule of Works for extent of RAB Boards.

 Vertical run Colorsteel Maxx Metdek 855 profiled metal wall cladding on 20mm x 40mm H3.2 MSG8 timber cavity battens on Marshall Waterproof Tekton House Wrap on 7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber structure with 12G x 65mm hex head T17 screws.

ALUMINIUM JOINERY:  
\* All joinery is to be recovered from storage, remedied or replaced as per the Window & Door Schedule as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sealed PTFE backing rod & MS Sikaflex sealant all to manufacturers details & EZ/AST.

STORMWATER:  
\* Existing gutters are to be retained unless otherwise specified by the Engineer.

\* Alter existing 80mm spouting dropers as required to accommodate installation of new 100mm downpipes. Install new 100mm PVC DWV downpipes & fix in place with grade 316 Stainless Steel Munson Rings.

\* Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

A Building Consent/Tender 02 TJ 07/13  
0 Tender 01 TJ 07/12  
Rev Issue By Date



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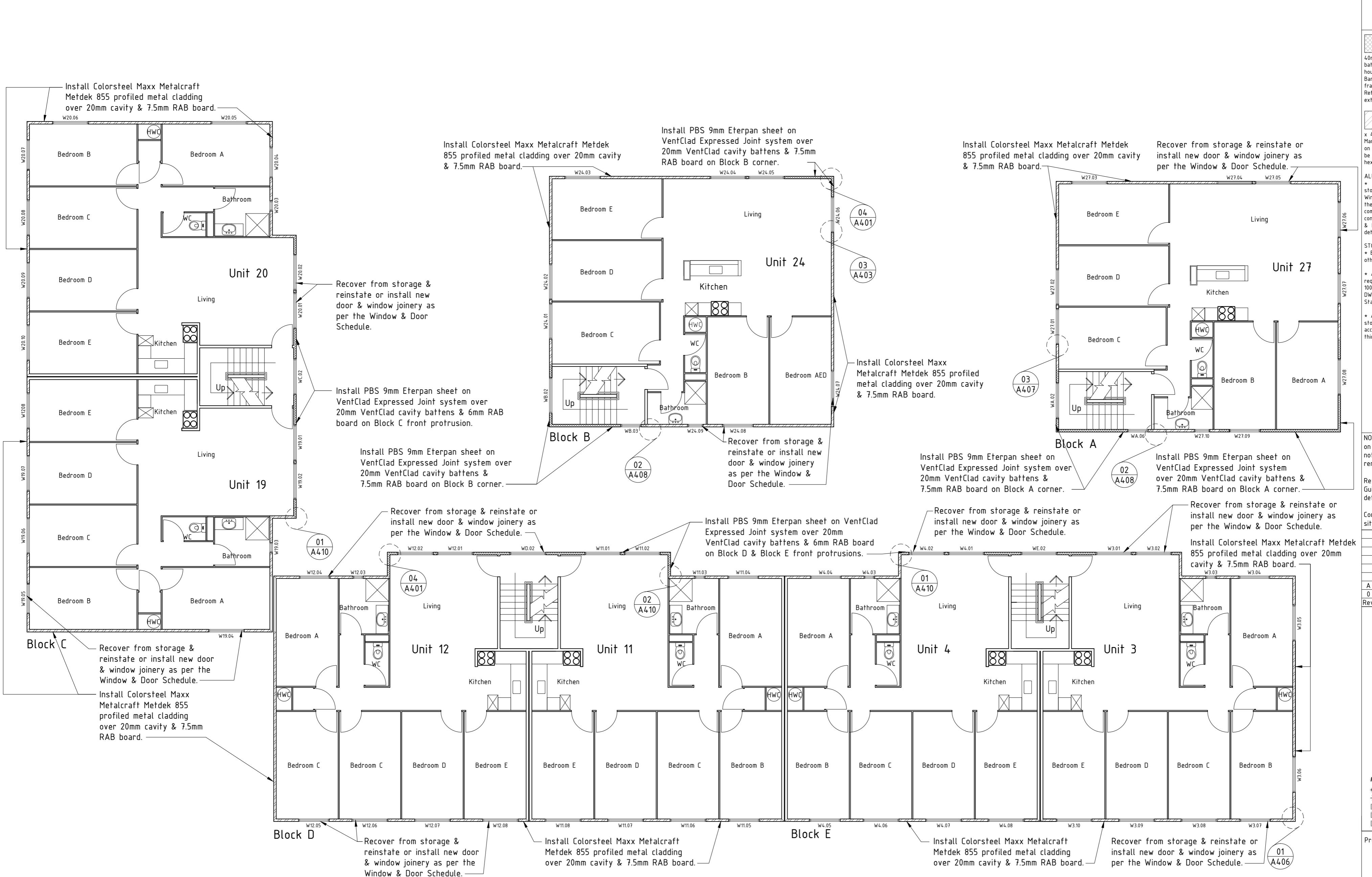
Project: Remedial Works  
For Weathertightness  
Drummond Street Complex  
Mount Cook  
Wellington

Title: Proposed First  
Floor Plan

Issue: Building Consent/Tender  
Drawn: TJ Date: July 2013  
Checked: DS Scale: 1:100@A2

Number: Rev:  
A107 A

PROPOSED FIRST FLOOR PLAN :



NOTE:

PBS Eterpan Refined panels on PBS VentClad Expressed Joint System on 20mm x 40mm H3.1 MSG8 VentClad timber cavity battens on Marshall Waterproofing Tekton house wrap on 6mm/7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber framing with 10G x 60mm CSK SS screws. Refer to plans and schedule of Works for extent of RAB Boards.

Vertically run Colorsteel Maxx Metdek 855 profiled metal cladding on 20mm x 40mm H3.2 MSG8 timber cavity battens on Marshall Waterproofing Tekton House Wrap on 7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber structure with 12G x 65mm hex head T17 screws.

ALUMINIUM JOINERY:  
\* All joinery is to be recovered from storage, remediated or replaced as per the Window & Door Schedule as instructed by the Engineer. Joinery to be reinstated complete with new flashings, air-seals constructed of suitably sized PEF backing rod & MS Sikaflex sealant all to manufacturers details & E2/A3.

STORMWATER:  
\* Existing gutters are to be retained unless otherwise specified by the Engineer.

\* Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC DWV downpipes & fix in place with grade 316 Stainless Steel Munson Rings.

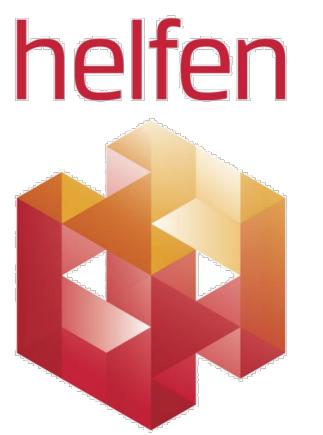
\* Alter existing gully traps, water & storm water outlets as required to accommodate increased wall cladding thickness.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

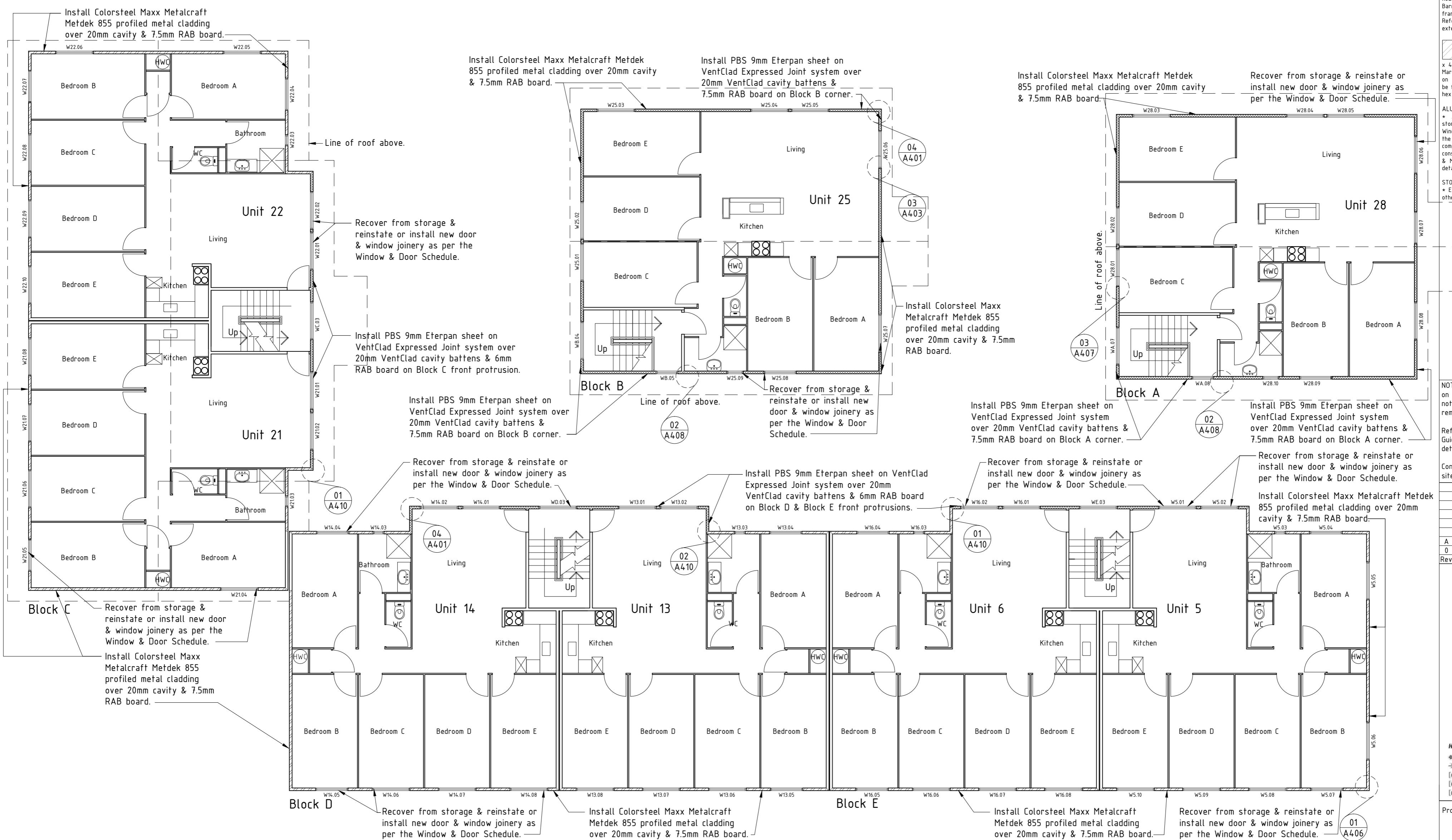
Contractor to check All dimensions on site prior to commencing work.

A Building Consent/Tender 02 TJ 07/13  
0 Tender 01 TJ 07/12  
Rev Issue By Date

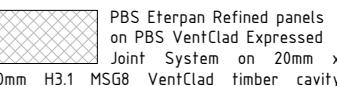


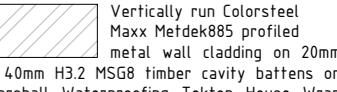
Project: Remedial Works For Weathertightness Drummond Street Complex Mount Cook Wellington  
Title: Proposed Second Floor Plan  
Issue: Building Consent/Tender  
Drawn: TJ Date: July 2013  
Checked: DS Scale: 1:100@A2  
Number: Rev: A108 A

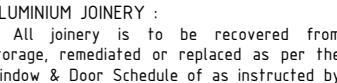
PROPOSED SECOND FLOOR PLAN :

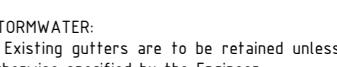


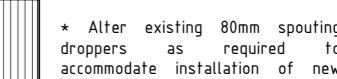
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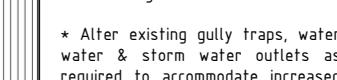
 PBS Eterpan Refined panels on PBS VentClad Expresssed Joint System on 20mm x 40mm H3.1 MSG8 VentClad timber cavity battens on Marshall Waterproofing Tekton house wrap on 6mm/7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber framing with 10G x 60mm CSK SS screws. Refer to plans and schedule of Works for extent of RAB Boards.

 Vertically run Colorsteel Maxx Metdek855 profiled metal wall cladding on 20mm x 40mm H3.2 MSG8 timber cavity battens on Marshall Waterproofing Tekton House Wrap on 7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber structure with 12G x 65mm hex head T17 screws.

 ALUMINUM JOINERY:  
\* All joinery to be recovered from storage, remediated or replaced as per the Window & Door Schedule as instructed by the Engineer. Joinery to be reinstated complete with new flashings, air-seals constructed of suitably sized PEF backing rod & MS Sikaflex sealant all to manufacturers details & EZ/AST.

 STORMWATER:  
\* Existing gutters are to be retained unless otherwise specified by the Engineer.

 \* Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC DWV downpipes & fix in place with grade 316 Stainless Steel Munson Rings.

 \* Alter existing gully traps, water & storm water outlets as required to accommodate increased wall cladding thickness.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

A Building Consent/Tender 02 TJ 07/13  
0 Tender 01 TJ 07/12  
Rev Issue By Date



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[p] 04 388 8666  
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[e] info@helfen.co.nz

Project: Remedial Works For Weathertightness Drummond Street Complex Mount Cook Wellington

Title: Proposed Third Floor Plan

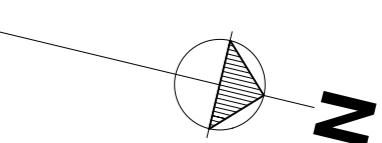
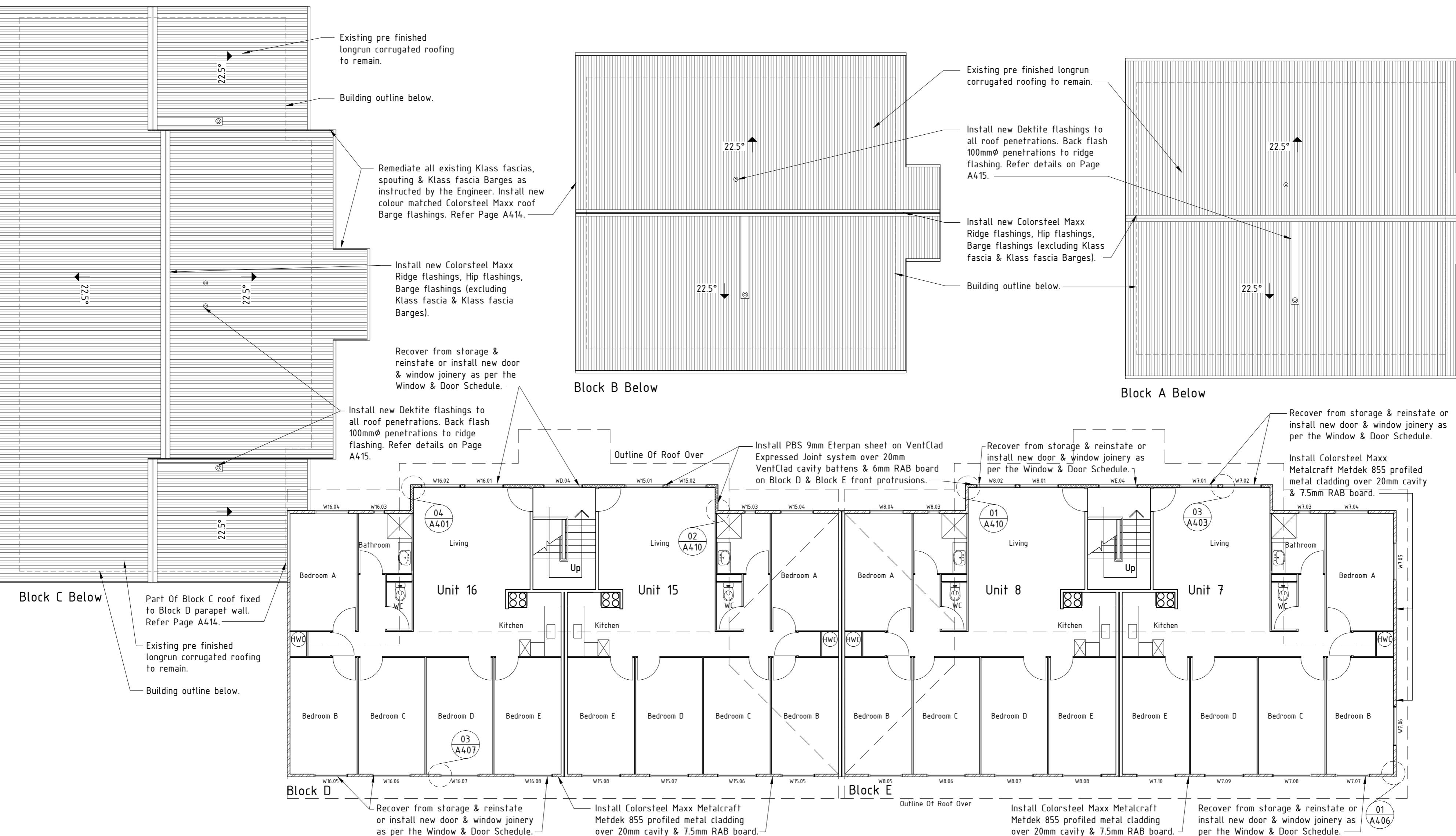
Issue: Building Consent/Tender

Drawn: TJ Date: July 2013

Checked: DS Scale: 1:100@A2

Number: A109 Rev: A

PROPOSED THIRD FLOOR PLAN :



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## NOTE:

DOE;

- Install new Colorsteel Maxx Ridge flashings, barge flashings, Barge flashings (excluding fascia & Klass fascia Barges) & Dektite flashings to roof penetrations. Where the diameter of roof penetrations exceeds 100mm, allow to install new Dektite flashings over new Colorsteel Maxx back flashings.
- Following any remediation of Klass fascias, bouting & Klass fascia Barges as specified by the Engineer, install new colour matched Colorsteel Maxx roof Barge flashings to over wash existing barge gutters.
- Existing gutters are to be retained unless otherwise specified by the Engineer.
- Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting boppers as required to accommodate installation of new 100mm downpipes.
- Remove & replace all existing roof tek screws with new like for like.
- Call on Engineer to inspect all bottom curlings to all roof perimeters & remove and replace or remediate as instructed.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

A	Building Consent/Tender 02	TJ	07/13
B	Tender 01	TJ	07/12
C		PA	PA

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 [info@helfen.co.nz](mailto:info@helfen.co.nz)

**sue: Building Consent/Tender**

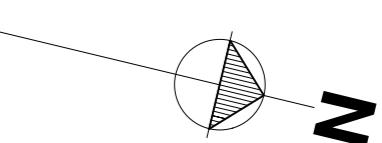
drawn: TJ Date: July 2013

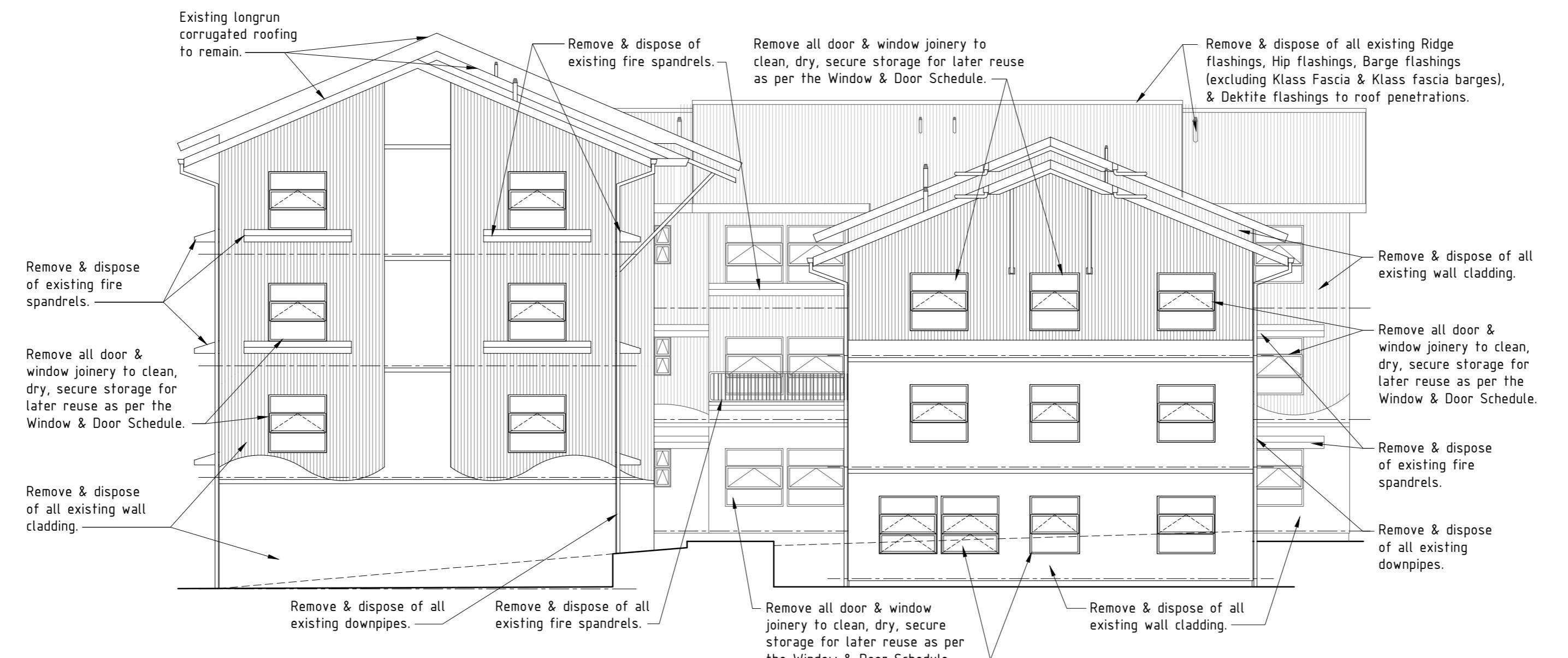
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umber: Rev:

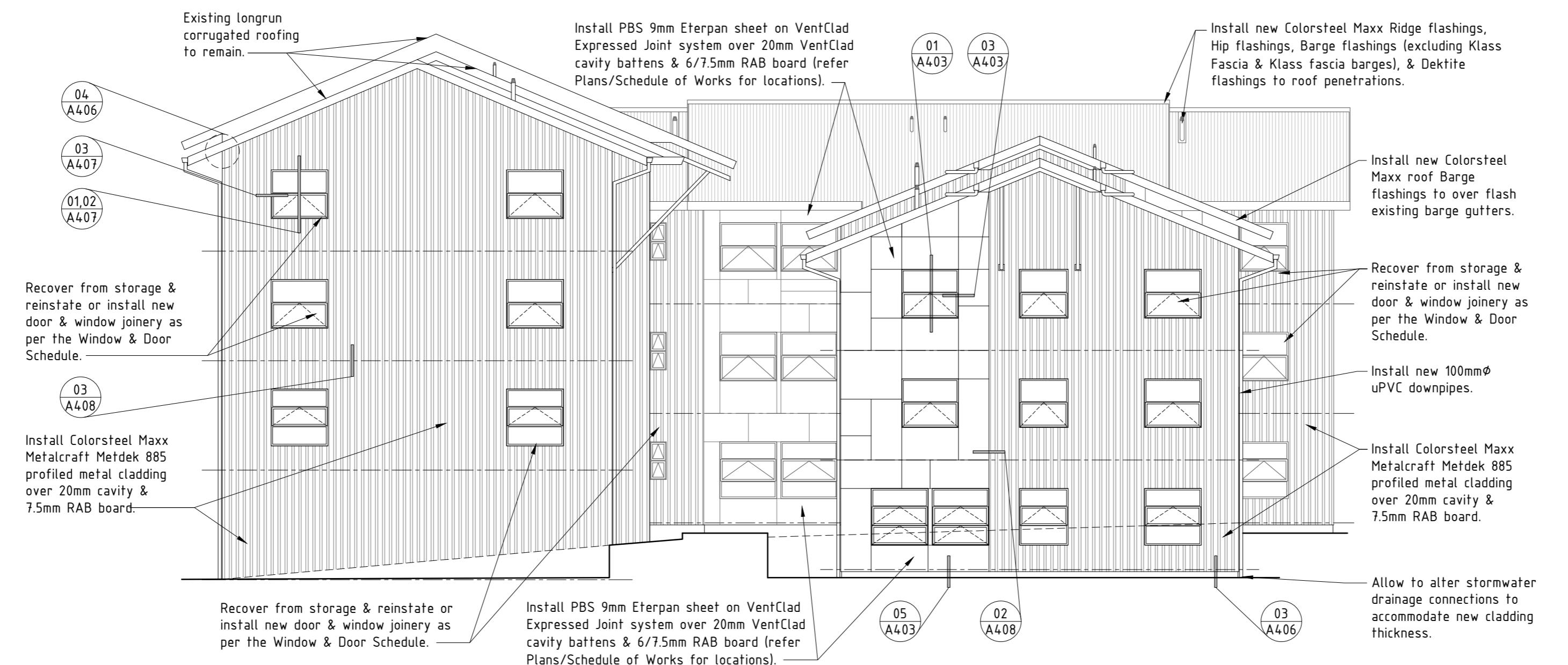
A110 | A

## PROPOSED ROOF PLAN :





EXISTING NORTH ELEVATION BLOCKS A & E :



PROPOSED NORTH ELEVATION BLOCKS A & E :

NOTE:

EXISTING ELEVATIONS :

- All existing wall claddings, & building wrap is to be removed & disposed of.
- All steel joists to be remediated where specified.
- Enginer to determine on site.
- All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged, wet or surplus insulation is to be disposed of.
- Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.

ALUMINUM JOINERY:

- All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect joinery removal. Joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the Engineer.

STORMWATER:

- Existing gutters are to be retained unless otherwise specified by the Engineer.
- Remove & dispose of all existing 80mm PVC downpipes. After existing 80mm spouting droppers, as required to accommodate installation of new 100mm downpipes.

PROPOSED ELEVATIONS :

- PBS Eterpan Refined panels on PBS VentClad Expressed Joint System on 20mm x 40mm H31 MSG8 VentClad timber cavity battens on Marshall Waterproofer Tekton house wrap on 6mm/7.5mm PBS RAB board. Cladding to be fixed to timber framing with 10G x 60mm CSK SS screws. Refer to plans and schedule of works for extent of RAB Boards.

VERTICALLY RUN COLORSTEEL MAXX METDEK885 PROFILED METAL WALL CLADDING ON 20MM X 40MM H32 MSG8 TIMBER CAVITY BATTENS ON MARSHALL WATERPROOFER TEKTON HOUSE WRAP ON 7.5MM PBS RAB BOARD. CLADDING TO BE FIXED TO TIMBER STRUCTURE WITH 12G X 65MM HEX HEAD T11 SCREWS.

ALUMINUM JOINERY :

- All joinery is to be recovered from storage, remediated or replaced as per the Window & Door Schedule of as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sized PEF backing rod & MS Sikaflex sealant all to manufacturers details & 2/2/AST.

STORMWATER:

- Existing gutters are to be retained unless otherwise specified by the Engineer.
- After existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC downpipes & fix in place with grade 316 Stainless Steel Munson Rings.
- Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

A Building Consent/Tender 02 TJ 07/13  
0 Tender 01 TJ 07/12  
Rev Issue By Date



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[fax] 04 380 9049  
[email] info@helfen.co.nz

Project: Remedial Works For Weathertightness Drummond Street Complex Mount Cook Wellington

Title: Existing & Proposed North Elevation Blocks A & E

Issue: Building Consent/Tender

Drawn: TJ Date: July 2013

Checked: DS Scale: 1:100@A2

Number: Rev:

A200 A

## NOTE:

### EXISTING ELEVATIONS :

- All existing wall claddings, & building wrap is to be removed & disposed of.
- Timber & steel framing to be remediated where specified - Engineer to determine on site.
- All existing insulation is to be removed to clean dry storage for later reuse in roof spaces. Any damaged, wet or surplus insulation is to be disposed of.
- Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.

### ALUMINUM JOINERY:

- All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect following removal. Joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the Engineer.

### STORMWATER:

- Existing gutters are to be retained unless otherwise specified by the Engineer.
- Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes.

### PROPOSED ELEVATIONS :

- PBS Eterpan Refined panels on PBS VentClad Expressed Joint System on 20mm x 40mm H3.1 MS28 VentClad timber cavity battens on Marshall Waterproofing Tekton house wrap on 6mm/7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber frame with HGS & 60mm CSK SS screws. Refer to plans and schedule of Works for extent of RAB Boards.

Vertically run Colorsteel Maxx Metdek885 profiled metal wall cladding on 20mm x 40mm H3.2 HSG timber cavity battens on Marshall Waterproofing Tekton House Wrap on 7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber structure with 125 x 65mm hex head T/T screws.

### ALUMINUM JOINERY:

- All joinery is to be recovered from storage, modified & applied as per the Window & Door Schedule of as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sized PEF backing rod & MS Sikaflex sealant all to manufacturers details & EZ/AS1.

### STORMWATER:

- Existing gutters are to be retained unless otherwise specified by the Engineer.
- Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC DWV downpipes & fix in place with grade 316 Stainless Steel Munson Rings.
- Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

A Building Consent/Tender 02/07/13  
0 Tender 01 TJ 07/12  
Rev Issue By Date



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[fax] 04 380 9049  
[email] info@helfen.co.nz

Project: Remedial Works  
For Weathertightness  
Drummond Street Complex  
Mount Cook  
Wellington

Title: Existing & Proposed  
North Elevation  
Block B

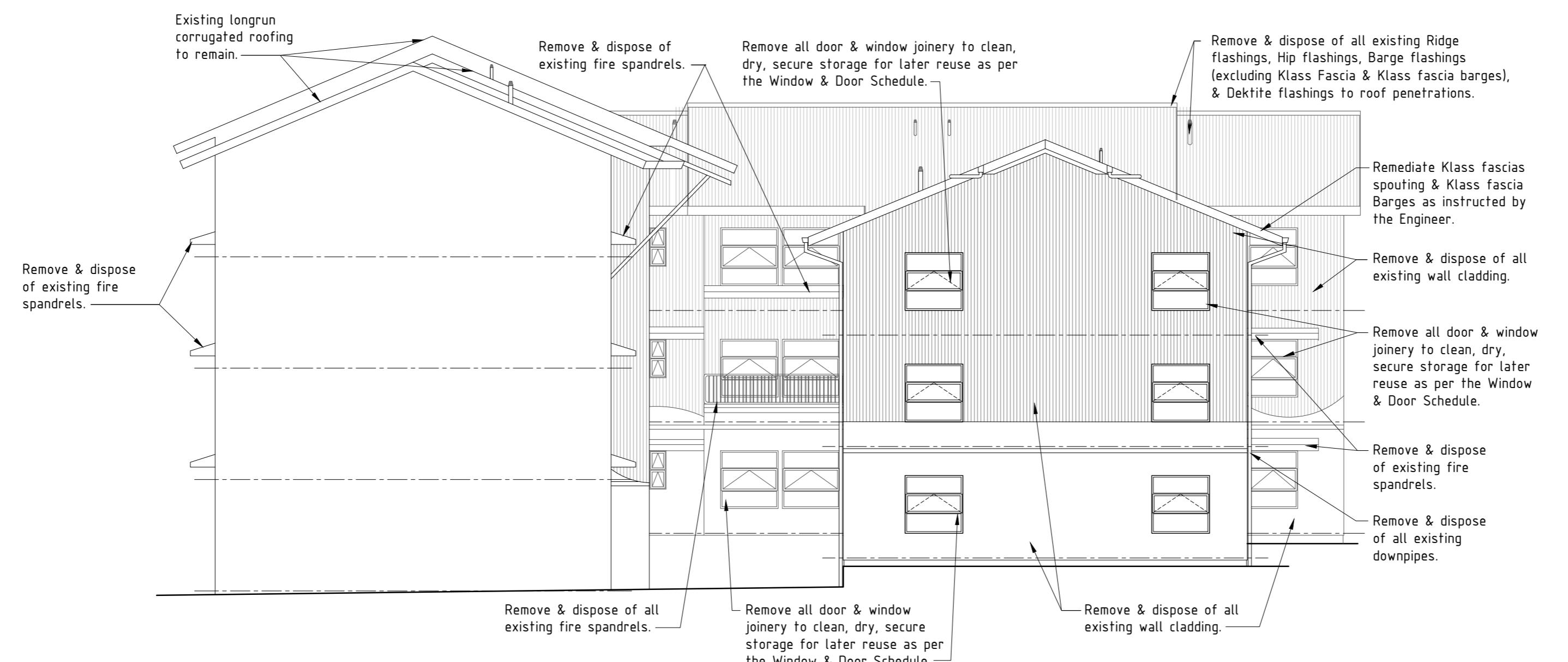
Issue: Building Consent/Tender

Drawn: TJ Date: July 2013

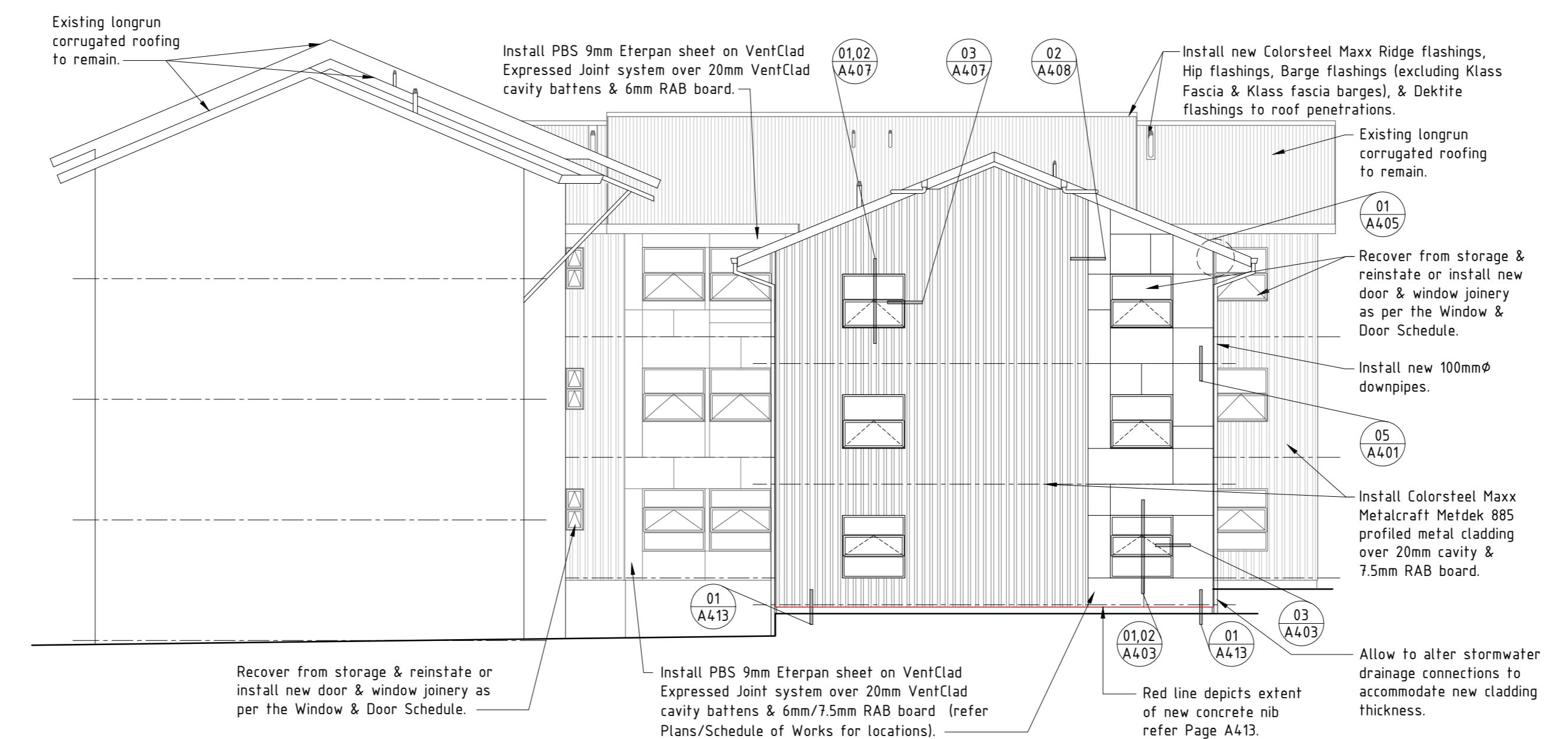
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Number: Rev:

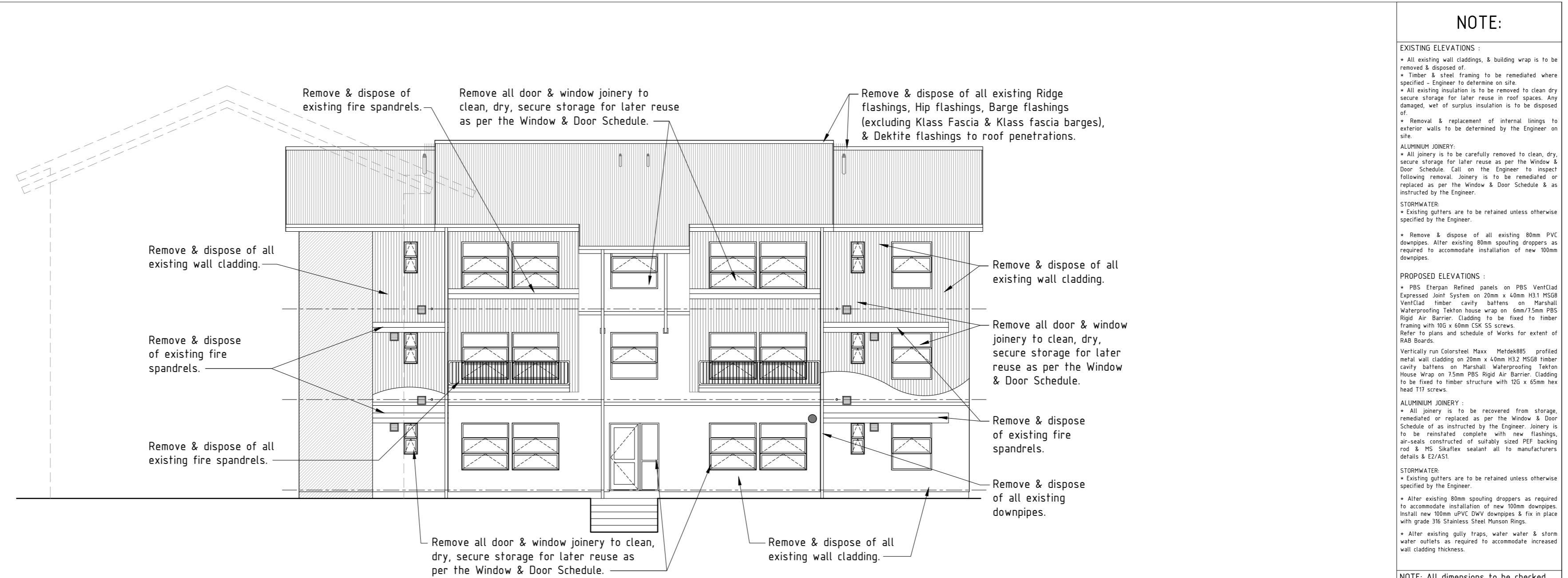
A201 A



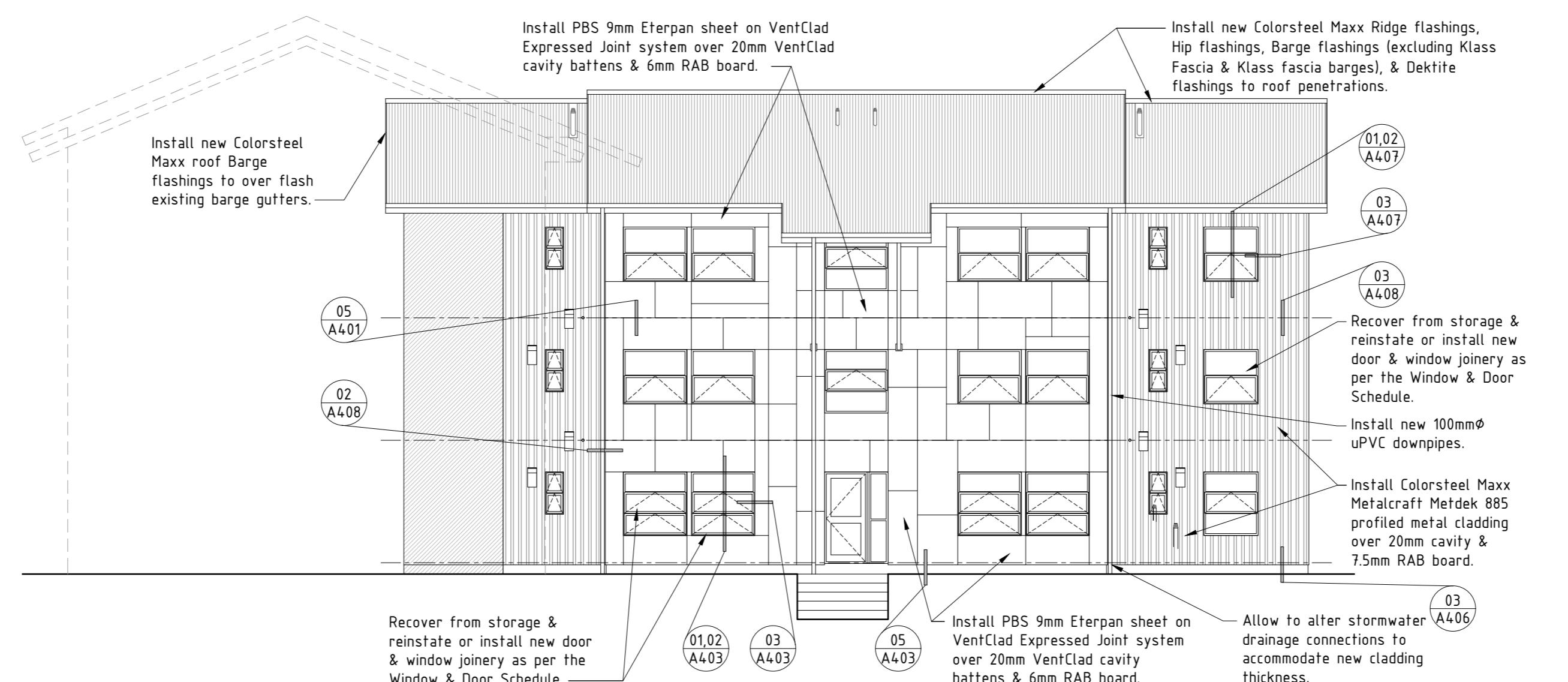
## EXISTING NORTH ELEVATION - BLOCK B :



## PROPOSED NORTH ELEVATION - BLOCK B :



EXISTING NORTH ELEVATION - BLOCK C :



PROPOSED NORTH ELEVATION - BLOCK C :

NOTE:

EXISTING ELEVATIONS :

- All existing wall claddings, & building wrap is to be removed & disposed of.
- Specified steel framing to be remediated where specified - Engineer to determine on site.
- All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged, wet or surplus insulation is to be disposed of.
- Removal & replacement of internal linings to exterior walls is to be determined by the Engineer on site.

ALUMINUM JOINERY:

- All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call to the Engineer to inspect returning removal joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the Engineer.

STORMWATER:

- Existing gutters are to be retained unless otherwise specified by the Engineer.
- Remove & dispose of all existing 80mm PVC downpipes. After existing 80mm spouting droppers, as required to accommodate installation of new 100mm downpipes.

PROPOSED ELEVATIONS :

- PBS Eterpan Refined panels on PBS VentClad Express Joint System on 20mm x 40mm H31 MSG8 VentClad timber cavity battens on Marshall Waterproofing Tekton house wrap on 6mm/7.5mm PBS VentClad cavity battens to be fixed to timber framing with 10G x 60mm CSK SS screws. Refer to plans and schedule of works for extent of RAB Boards.

VERTICALLY RUN COLORSTEEL MAXX METDEK885 PROFILED METAL CLADDING ON 20MM X 40MM H32 MSG8 TIMBER CAVITY BATTEENS ON MARSHALL WATERPROOFING TEKTON HOUSE WRAP ON 7.5MM PBS RIGID AIR BARRIER CLADDING TO BE FIXED TO TIMBER STRUCTURE WITH 12G X 65MM HEX HEAD T11 SCREWS.

ALUMINUM JOINERY :

- All joinery is to be recovered from storage, remediated or replaced as per the Window & Door Schedule of as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sized PEF backing rod & MS Sikaflex sealant all to manufacturers details & E2/AST.

STORMWATER:

- Existing gutters are to be retained unless otherwise specified by the Engineer.
- After existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm upVC DWV downpipes & fix in place with grade 316 stainless steel Munson Rings.
- Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

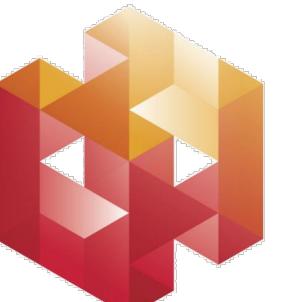
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Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

A Building Consent/Tender 02 TJ 07/13  
0 Tender 01 TJ 07/12  
Rev Issue By Date

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Project: Remedial Works For Weathertightness Drummond Street Complex Mount Cook Wellington

Title: Existing & Proposed North Elevation Block C

Issue: Building Consent/Tender

Drawn: TJ Date: July 2013

Checked: DS Scale: 1:100@A2

Number: Rev:

A202 A

## NOTE:

### EXISTING ELEVATIONS :

- All existing wall claddings, & building wrap is to be removed & disposed of.
- All steel joisting to be remediated where specified. Engineer to determine on site.
- All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged, wet or surplus insulation is to be disposed of.
- Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.

### ALUMINUM JOINERY:

- All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Removal joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the Engineer.

### STORMWATER:

- Existing gutters are to be retained unless otherwise specified by the Engineer.
- Remove & dispose of all existing 80mm PVC downpipes. After existing 80mm spouting droppers, as required to accommodate installation of new 100mm downpipes.

### PROPOSED ELEVATIONS :

- PBS Eterpan Refined panels on PBS VentClad Express Joint System on 20mm x 40mm H3.1 MSG8 VentClad timber cavity battens on Marshall Waterproofer Tekton house wrap on 6mm/75mm PBS RAB boards. Cladding is to be fixed to timber framing with 10G x 60mm CSK SS screws. Refer to plans and schedule of works for extent of RAB Boards.

### VERTICALLY RUN COLORSTEEL MAXX:

- All joinery is to be recovered from storage, remediated or replaced as per the Window & Door Schedule as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sealed PEF backing rod & MS Sikaflex sealant all to manufacturers details & 2/2/AST.

### STORMWATER:

- Existing gutters are to be retained unless otherwise specified by the Engineer.
- After existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC DWV downpipes & fix in place with grade 316 Stainless Steel Munson Rings.
- Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

A Building Consent/Tender 02 TJ 07/13  
0 Tender 01 TJ 07/12  
Rev Issue By Date



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(04) 380 9049  
info@helfen.co.nz

Project: Remedial Works For Weathertightness Drummond Street Complex Mount Cook Wellington

Title: Existing & Proposed East Elevation Blocks C, D & E

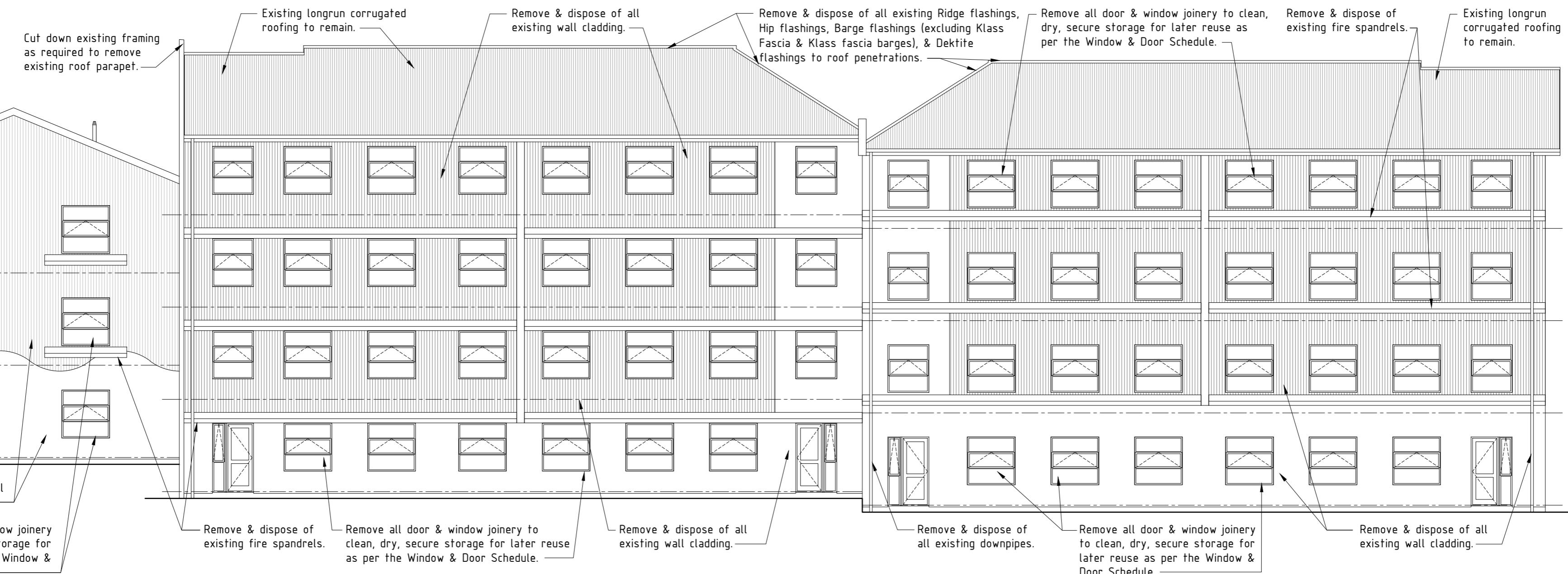
Issue: Building Consent/Tender

Drawn: TJ Date: July 2013

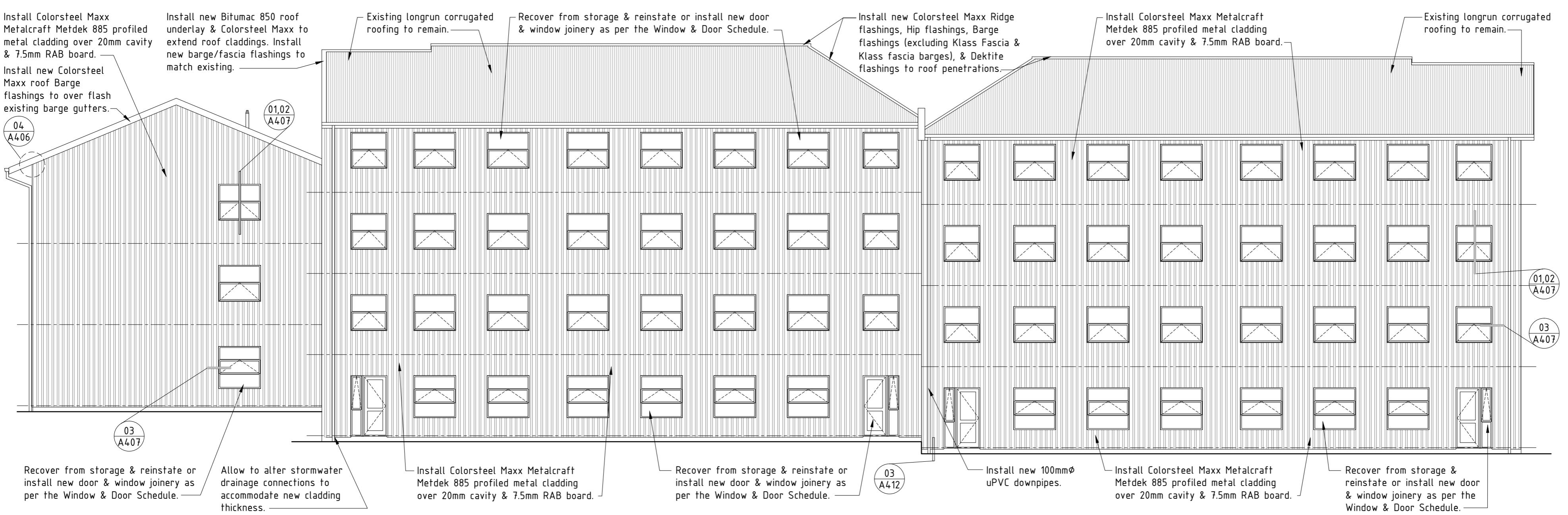
Checked: DS Scale: 1:100@A2

Number: Rev:

A203 A



EXISTING EAST ELEVATION - BLOCKS C, D & E :



PROPOSED EAST ELEVATION - BLOCK C, D & E :

NOTE:

EXISTING ELEVATIONS :

- All existing wall claddings, & building wrap is to be removed & disposed of.
- Timber & steel framing to be remediated where specified - Engineer to determine on site.
- All existing insulation is to be removed to clean dry storage for later reuse in roof spaces Any damaged, wet or surplus insulation is to be disposed of.
- Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.

ALUMINUM JOINERY:

- All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect following removal. Joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the Engineer.

STORMWATER:

- Existing gutters are to be retained unless otherwise specified by the Engineer.
- Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes.

PROPOSED ELEVATIONS :

- PBS Eterpan Refined panels on PBS VentClad Express Joint System on 20mm x 40mm H31 MS88 VentClad Timber cavity battens on Marshall Waterproofing Tekton house wrap on 6mm/75mm PBS Rigid Air Barrier. Cladding to be fixed to timber frame with H6 x 60mm CSK SS screws. Refer to plans and schedule of Works for extent of RAB Boards.
- Vertically run Colorsteel Maxx Metdek885 profiled metal wall cladding on 20mm x 40mm H32 NSGB timber cavity battens on Marshall Waterproofing Tekton House Wrap on 75mm PBS Rigid Air Barrier. Cladding to be fixed to timber structure with 125 x 65mm hex head T17 screws.

ALUMINUM JOINERY:

- All joinery is to be recovered from storage, undamaged & re-applied as per the Window & Door Schedule of as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sized PEF backing rods & MS Sikaflex sealant all to manufacturers details & E2/AS1.

STORMWATER:

- Existing gutters are to be retained unless otherwise specified by the Engineer.
- Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC DWV downpipes & fix in place with grade 316 Stainless Steel Munson Rings.
- Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

A Building Consent/Tender 02 TJ 07/13  
0 Tender 01 TJ 07/12  
Rev Issue By Date



**Helfen Limited Building Surveyors**  
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PO Box 15-198, Wellington 6243  
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(04) 380 9049  
info@helfen.co.nz

Project: Remedial Works  
For Weathertightness  
Drummond Street Complex  
Mount Cook  
Wellington

Title: Existing & Proposed  
East Elevation  
Blocks A & B

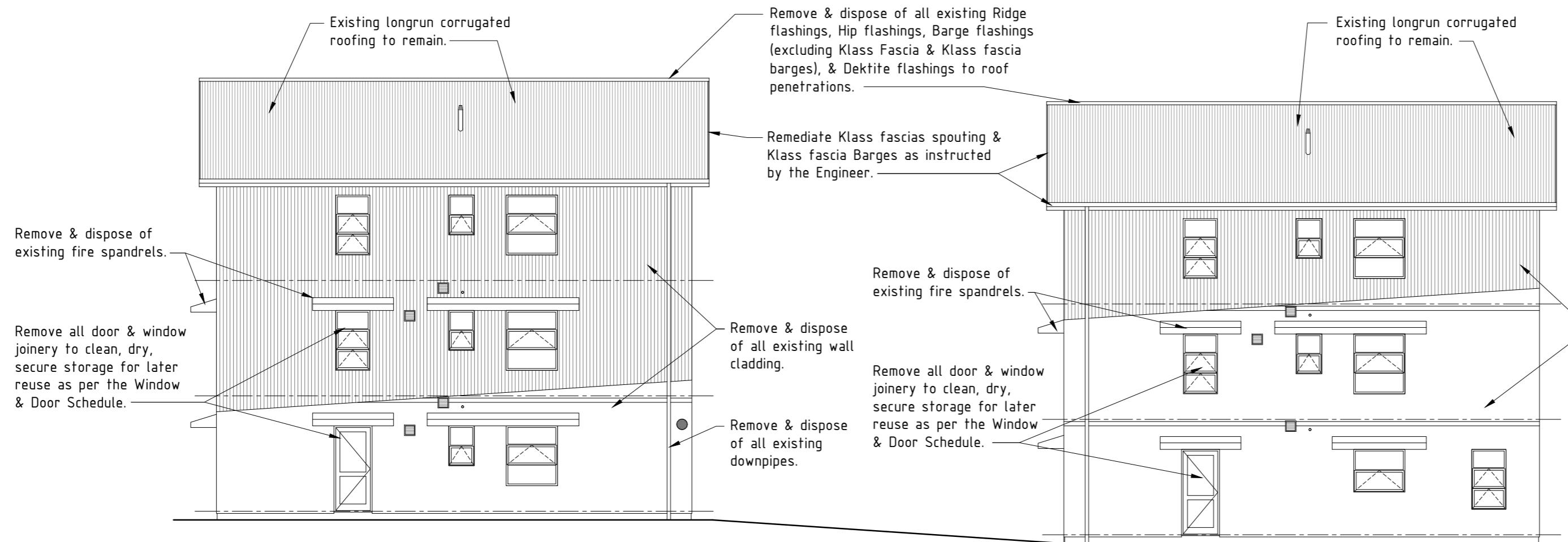
Issue: Building Consent/Tender

Drawn: TJ Date: July 2013

Checked: DS Scale: 1:100@A2

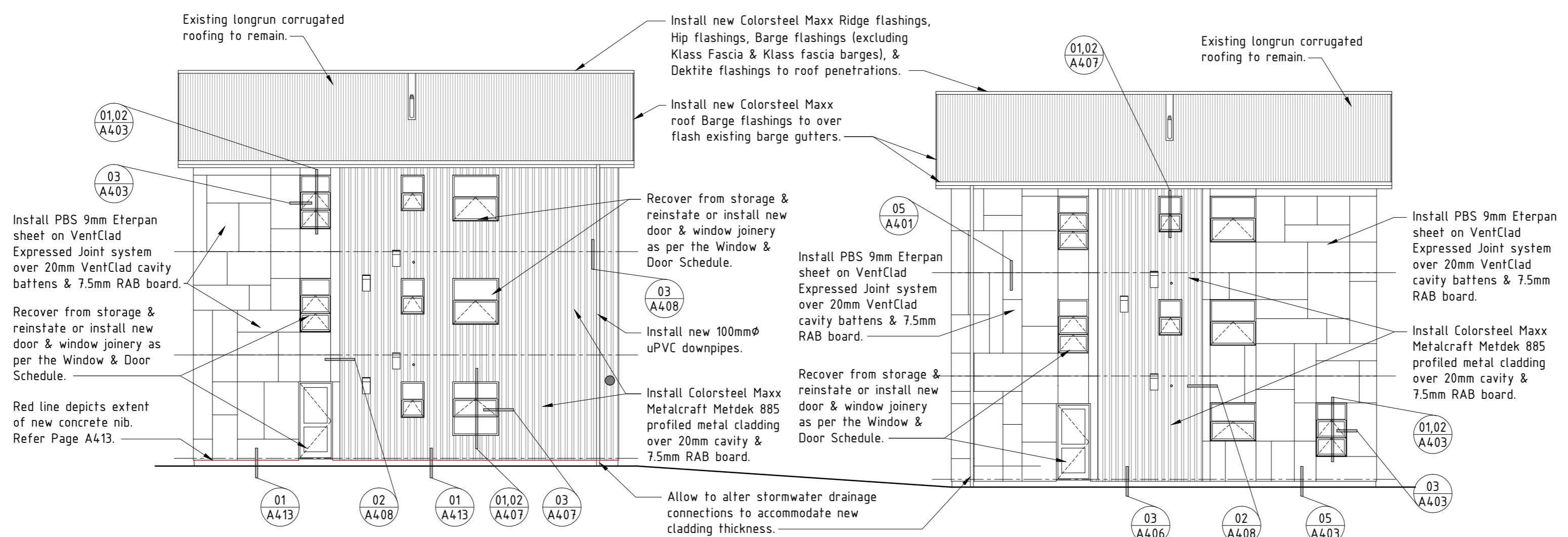
Number: Rev:

A204 A



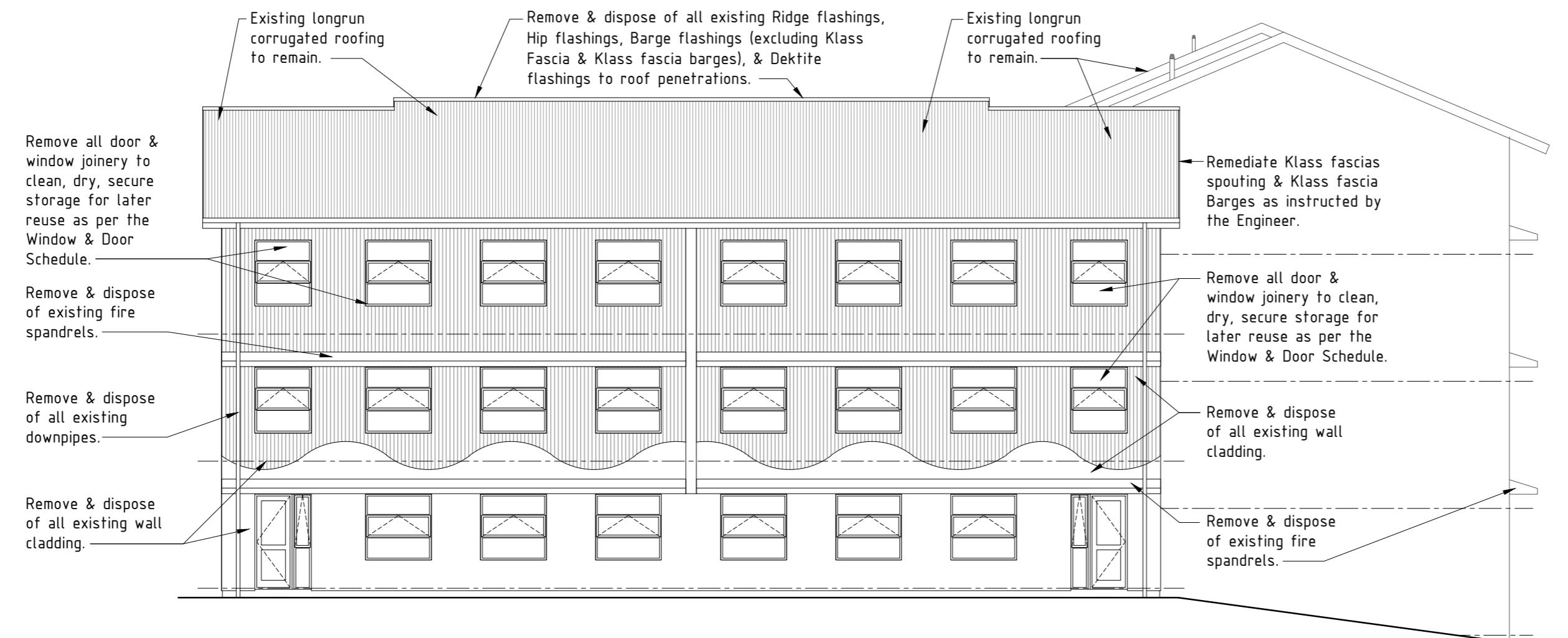
EXISTING EAST ELEVATION - BLOCK B :

EXISTING EAST ELEVATION - BLOCK A :

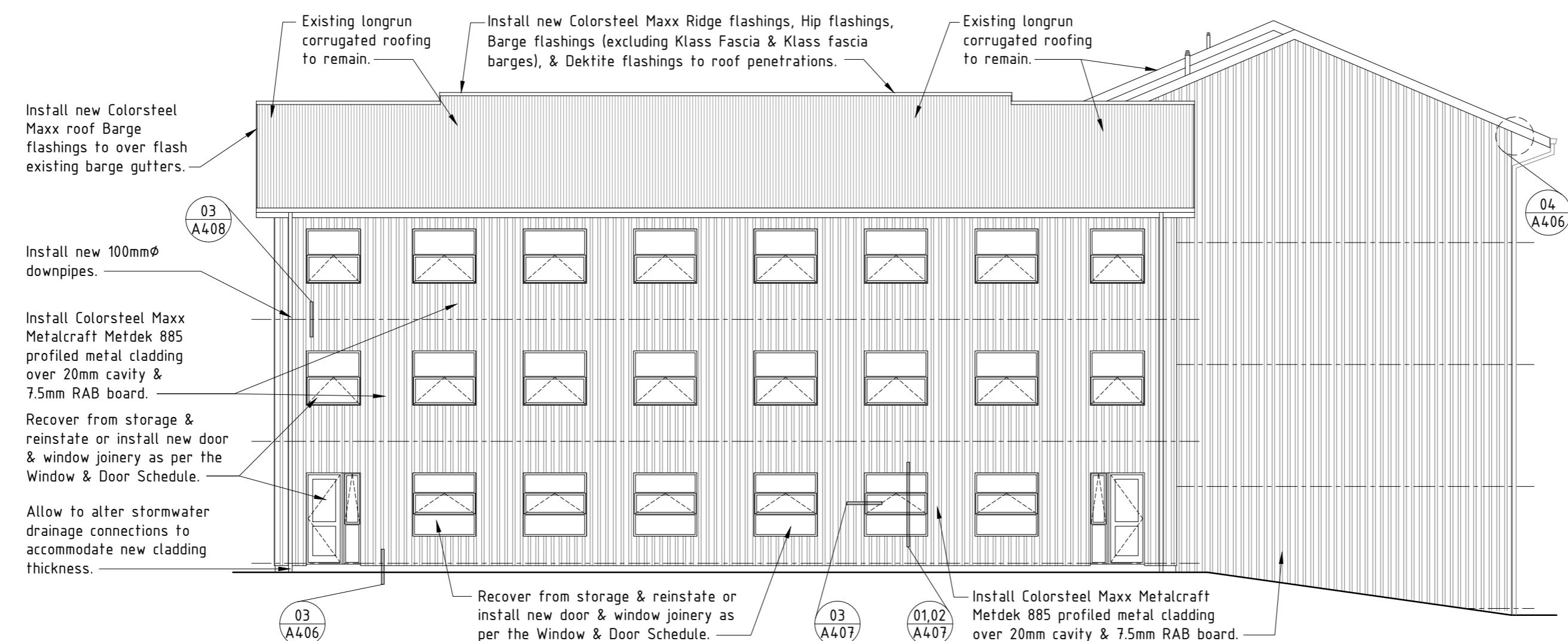


PROPOSED EAST ELEVATION - BLOCK B :

PROPOSED EAST ELEVATION - BLOCK A :



EXISTING SOUTH ELEVATION - BLOCK C :



PROPOSED SOUTH ELEVATION - BLOCK C :

NOTE:

EXISTING ELEVATIONS :

- All existing wall claddings, & building wrap is to be removed & disposed of.
- Timber & steel framing to be remediated where specified - Engineer to determine on site.
- All existing insulation is to be removed to clean, dry storage for later reuse in roof spaces. Any damaged, wet or surplus insulation is to be disposed of.
- Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.

ALUMINUM JOINERY:

- All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect following removal. Joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the Engineer.

STORMWATER:

- Existing gutters are to be retained unless otherwise specified by the Engineer.
- Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes.

PROPOSED ELEVATIONS :

- PBS Elgar Refined panels on PBS VentClad Express Joint System on 20mm x 40mm H3.1 MS88 VentClad timber cavity battens on Marshall Waterproofing Tekton house wrap on 6mm/75mm PBS Rigid Air Barrier. Cladding to be fixed to timber frame with H6G x 60mm CSK SS screws. Refer to plans and schedule of Works for extent of RAB Boards.

VERTICAL RUN COLORSTEEL MAXX METDEK 885:

- All cladding is to be recovered from storage, undisturbed & applied as per the Window & Door Schedule of as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sized PEF backing rod & MS Sikaflex sealant all to manufacturers details & EZ/AS1.

STORMWATER:

- Existing gutters are to be retained unless otherwise specified by the Engineer.
- Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC DWV downpipes & fix in place with grade 316 stainless steel Munson Rings.
- Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

A Building Consent/Tender 02 TJ 07/13  
0 Tender 01 TJ 07/12  
Rev Issue By Date



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Project: Remedial Works For Weathertightness Drummond Street Complex Mount Cook Wellington

Title: Existing & Proposed South Elevation Block C

Issue: Building Consent/Tender

Drawn: TJ Date: July 2013

Checked: DS Scale: 1:100@A2

Number: Rev: A205 A

### NOTE:

#### EXISTING ELEVATIONS :

- All existing wall claddings, & building wrap is to be removed & disposed of.
- Timber & steel framing to be remediated where specified - Engineer to determine on site.
- All existing insulation is to be removed to clean, dry, secure storage for later reuse in roof spaces. Any damaged, wet or surplus insulation is to be disposed of.
- Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.

#### ALUMINUM JOINERY:

- All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect following removal. Joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the Engineer.

#### STORMWATER:

- Existing gutters are to be retained unless otherwise specified by the Engineer.
- Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes.

#### PROPOSED ELEVATIONS :

- PBS Eterpan refined panels on PBS VentClad Expressed Joint System on 20mm x 40mm H3.1 MS58 VentClad timber cavity battens on Marshall Waterproofing Tekton house wrap on 6mm/75mm PBS Rigid Air Barrier. Cladding to be fixed to timber frame with HG & 60mm CSK SS screws. Refer to plans and Works for extent of RAB Boards.

- Vertically run Colorsteel Maxx Metdek885 profiled metal wall cladding on 20mm x 40mm H3.2 ISGB timber cavity battens on Marshall Waterproofing Tekton House Wrap on 75mm PBS Rigid Air Barrier. Cladding to be fixed to timber structure with 125 x 65mm hex head T11 screws.

#### ALUMINUM JOINERY:

- All joinery is to be recovered from storage, modified as required as per the Window & Door Schedule of as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sized PEF backing rod & MS Sikaflex sealant all to manufacturers details & Z/24/AS1.

#### STORMWATER:

- Existing gutters are to be retained unless otherwise specified by the Engineer.
- Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC DWV downpipes & fix in place with grade 316 Stainless Steel Munson Rings.
- Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

A Building Consent/Tender 02 TJ 07/13  
0 Tender 01 TJ 07/12  
Rev Issue By Date



Project: Remedial Works  
For Weathertightness  
Drummond Street Complex  
Mount Cook  
Wellington

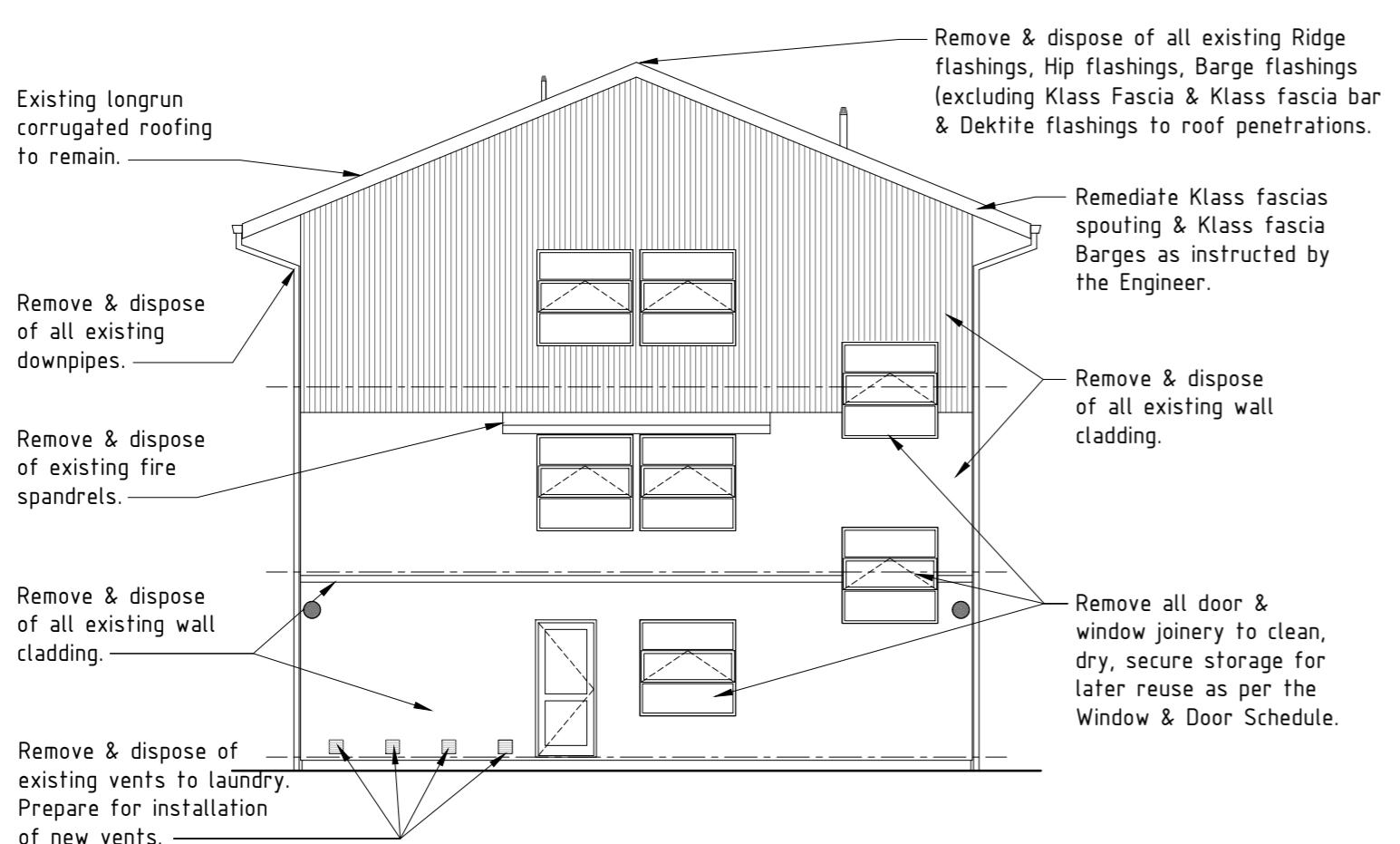
Title: Existing & Proposed  
South Elevation  
Blocks A & B

Issue: Building Consent/Tender  
Drawn: TJ Date: July 2013

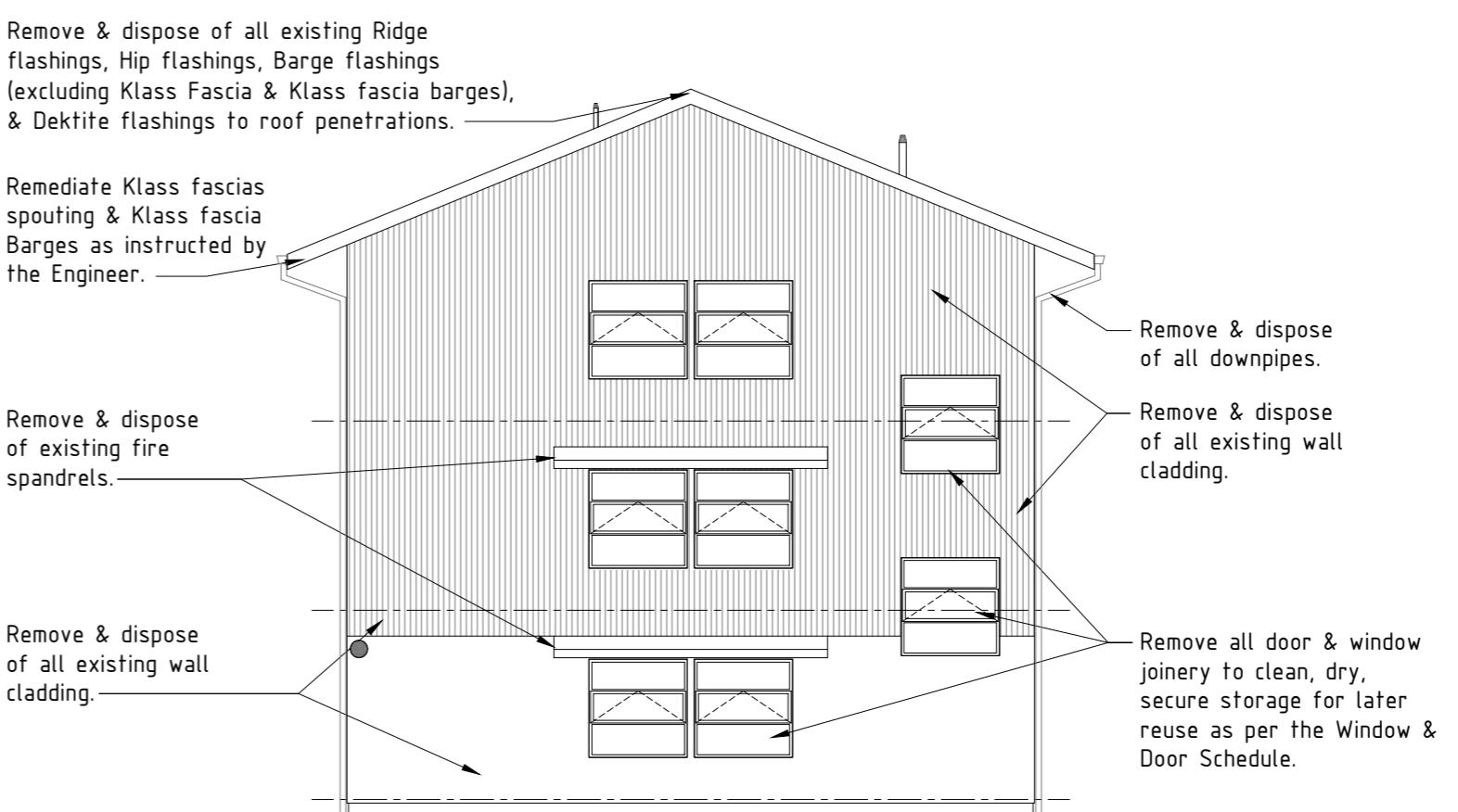
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Number: Rev:

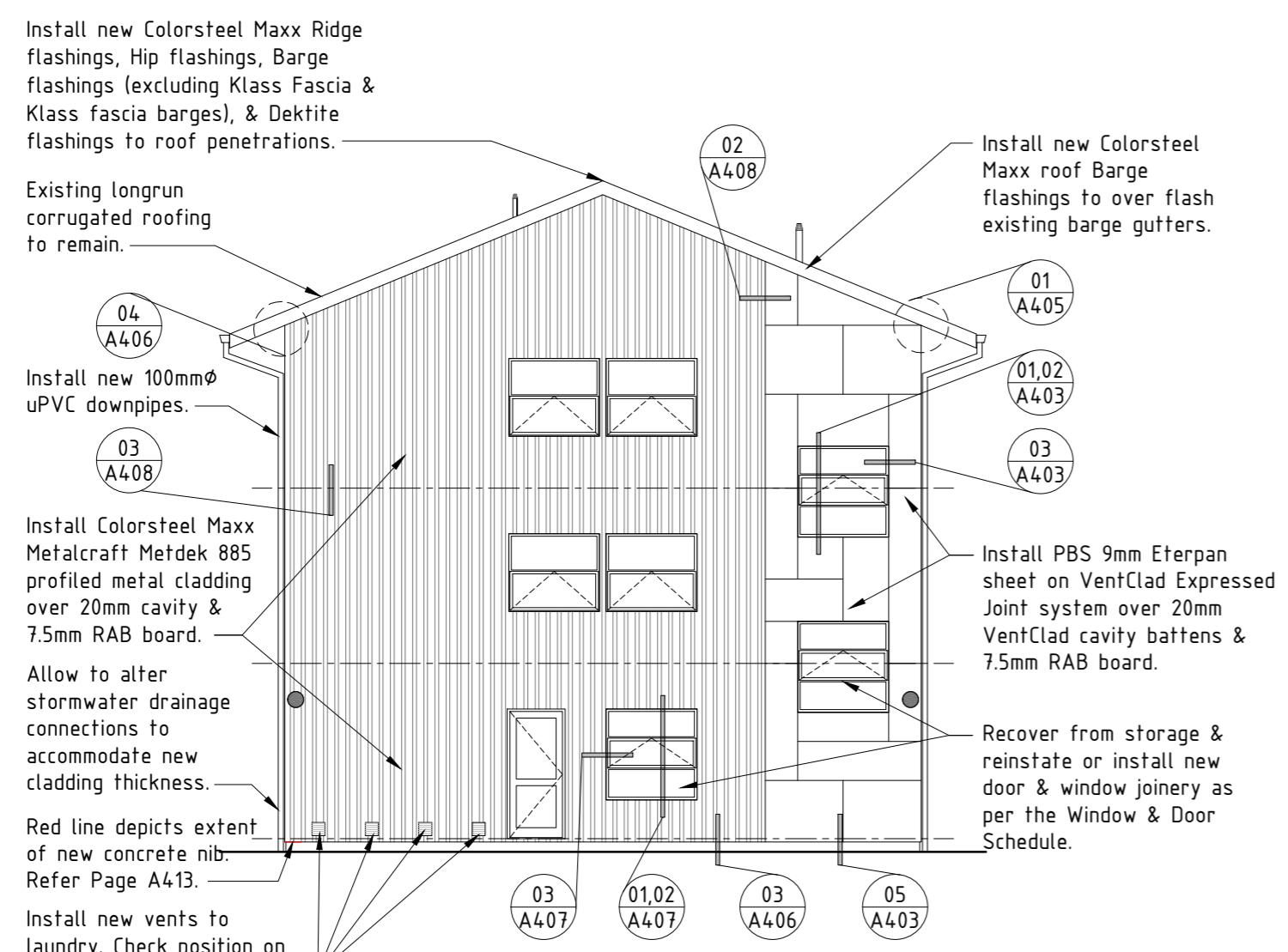
A206 A



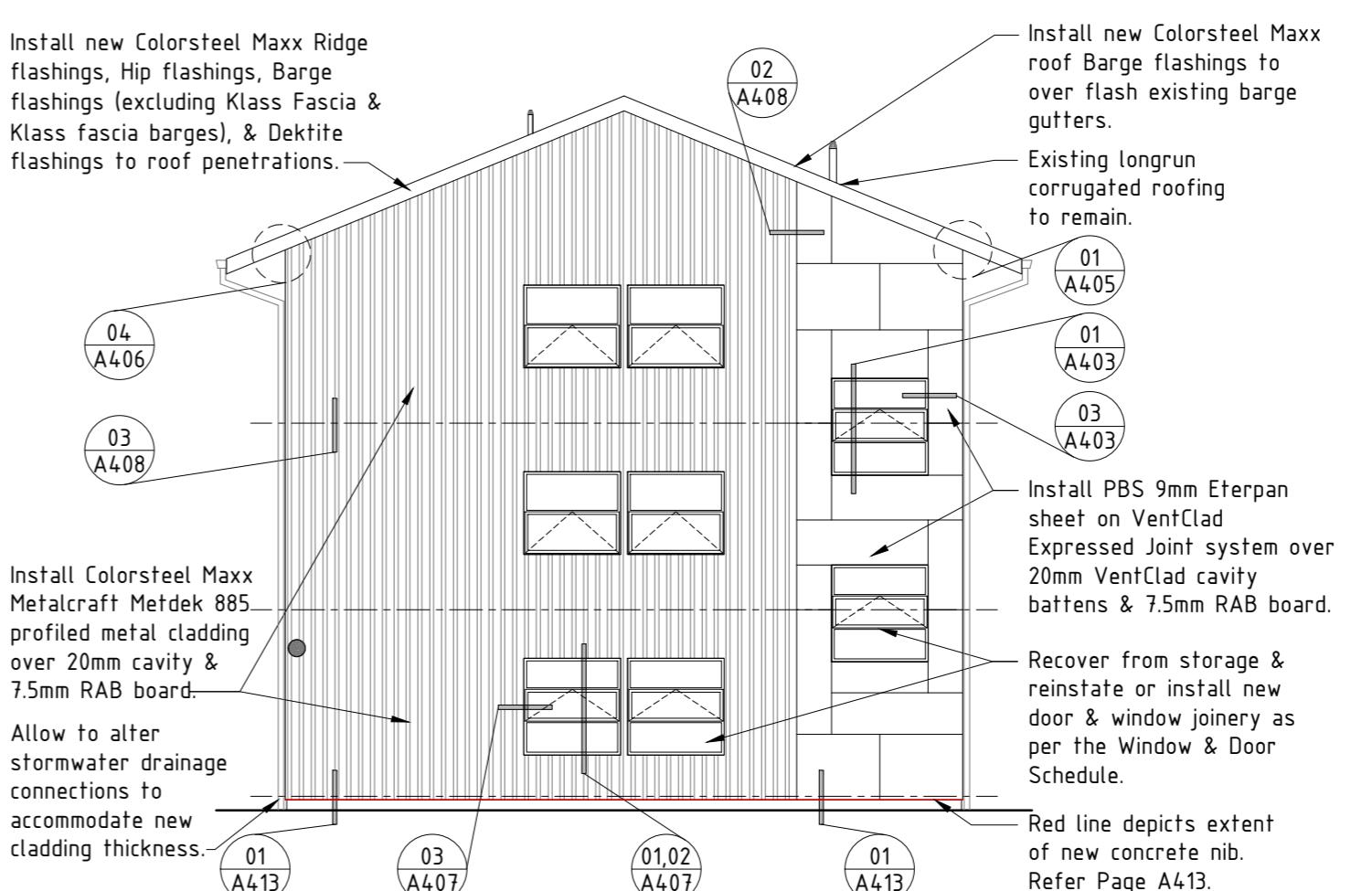
EXISTING SOUTH ELEVATION:  
BLOCK A



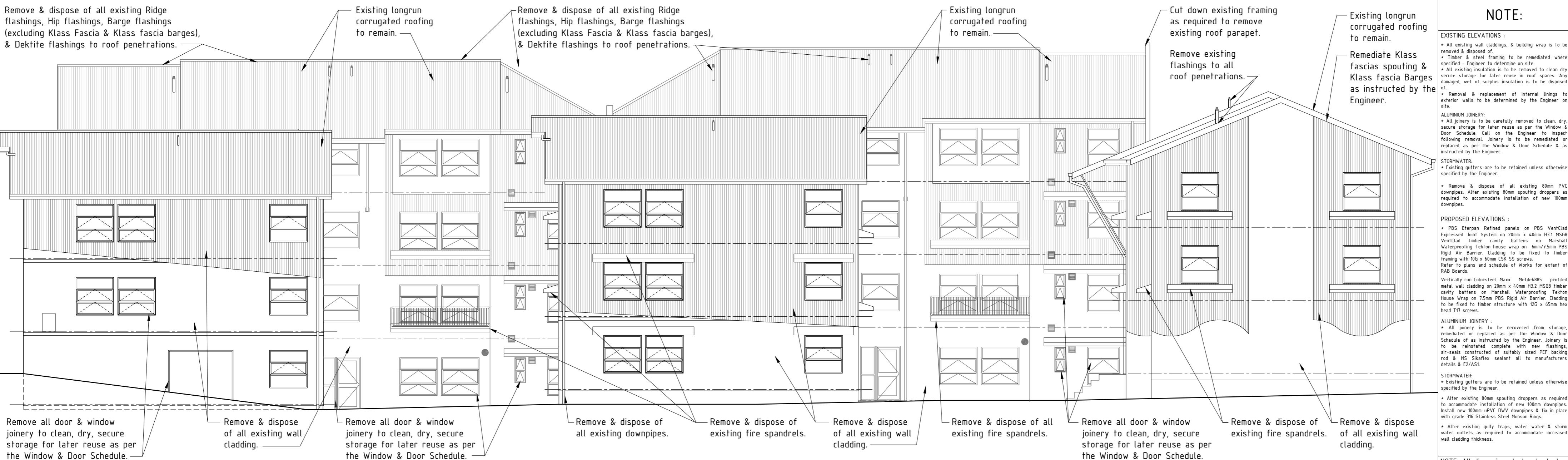
EXISTING SOUTH ELEVATION:  
BLOCK B



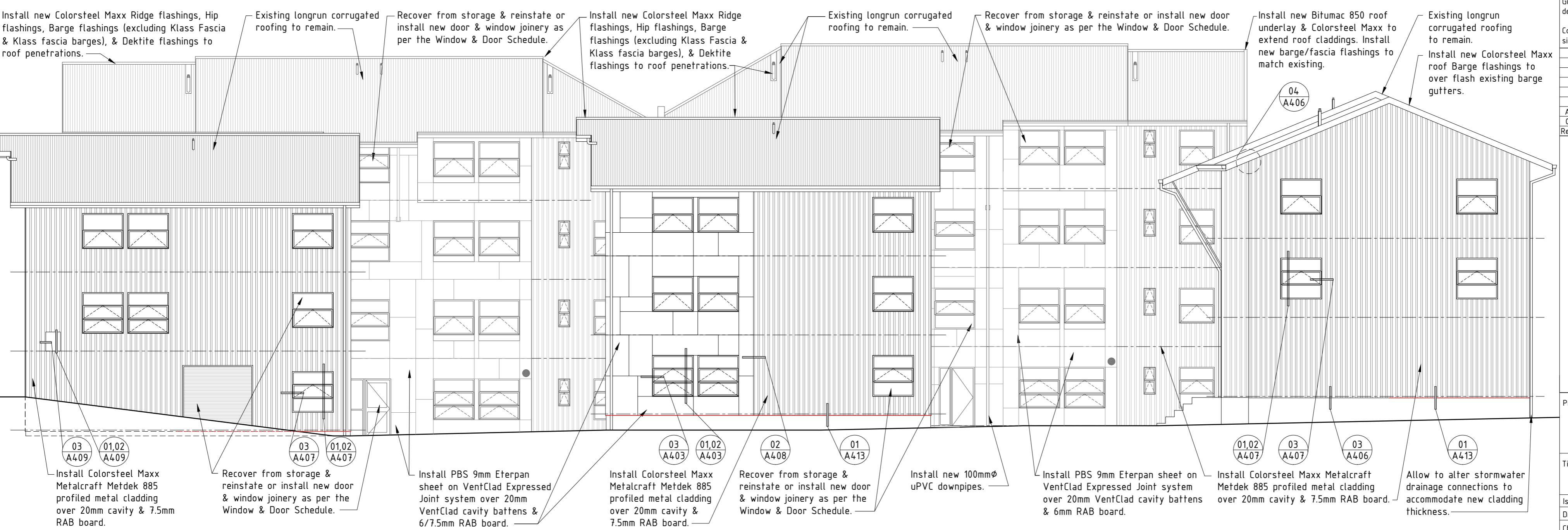
PROPOSED SOUTH ELEVATION:  
BLOCK A



PROPOSED SOUTH ELEVATION:  
BLOCK B



EXISTING WEST ELEVATION - BLOCKS A, B & C :



PROPOSED WEST ELEVATION - BLOCKS A, B & C :

NOTE:

EXISTING ELEVATIONS :

- All existing wall claddings, & building wrap is to be removed & disposed of.
- All steel framing to be remediated where specified. Engineer to determine on site.
- All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged, wet or surplus insulation is to be disposed of.
- Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.

ALUMINUM JOINERY:

- Existing gutters are to be retained unless otherwise specified by the Engineer.
- Remove & dispose of all existing 80mm PVC downpipes. After existing 80mm spouting droppers are required to accommodate installation of new 100mm downpipes.

PROPOSED ELEVATIONS :

- PBS Eterpan Refined panels on PBS VentClad Expressed Joint System on 20mm x 40mm H3.1 MSG8 VentClad timber cavity battens on Marshall Waterproofer Tekton house wrap on 6mm/7.5mm PBS RAB board. Cladding to be fixed to timber framing with 10G x 60mm CSK SS screws. Refer to plans and schedule of Works for extent of RAB Boards.
- Vertically run Colorsteel Maxx Metdek885 profiled metal cladding on 20mm x 40mm H3.2 MSG8 timber cavity battens on Marshall Waterproofer Tekton house wrap on 7.5mm PBS Rigid Air Barrier Cladding to be fixed to timber structure with 12G x 65mm hex head T11 screws.

ALUMINUM JOINERY :

- All joinery is to be recovered from storage, remediated or replaced as per the Window & Door Schedule as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sized PEF backing rod & MS Sikaflex sealant all to manufacturers details & E2/Ast.

STORMWATER:

- Existing gutters are to be retained unless otherwise specified by the Engineer.
- After existing 80mm spouting droppers are required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC DWV downpipes & fix in place with grade 316 Stainless Steel Munson Rings.
- Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

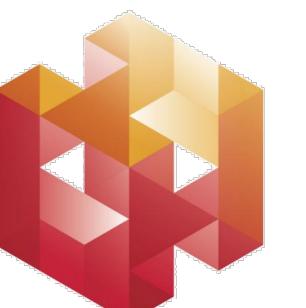
NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

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Contractor to check All dimensions on site prior to commencing work.

A Building Consent/Tender 02 TJ 07/13  
0 Tender 01 TJ 07/12  
Rev Issue By Date

helfen



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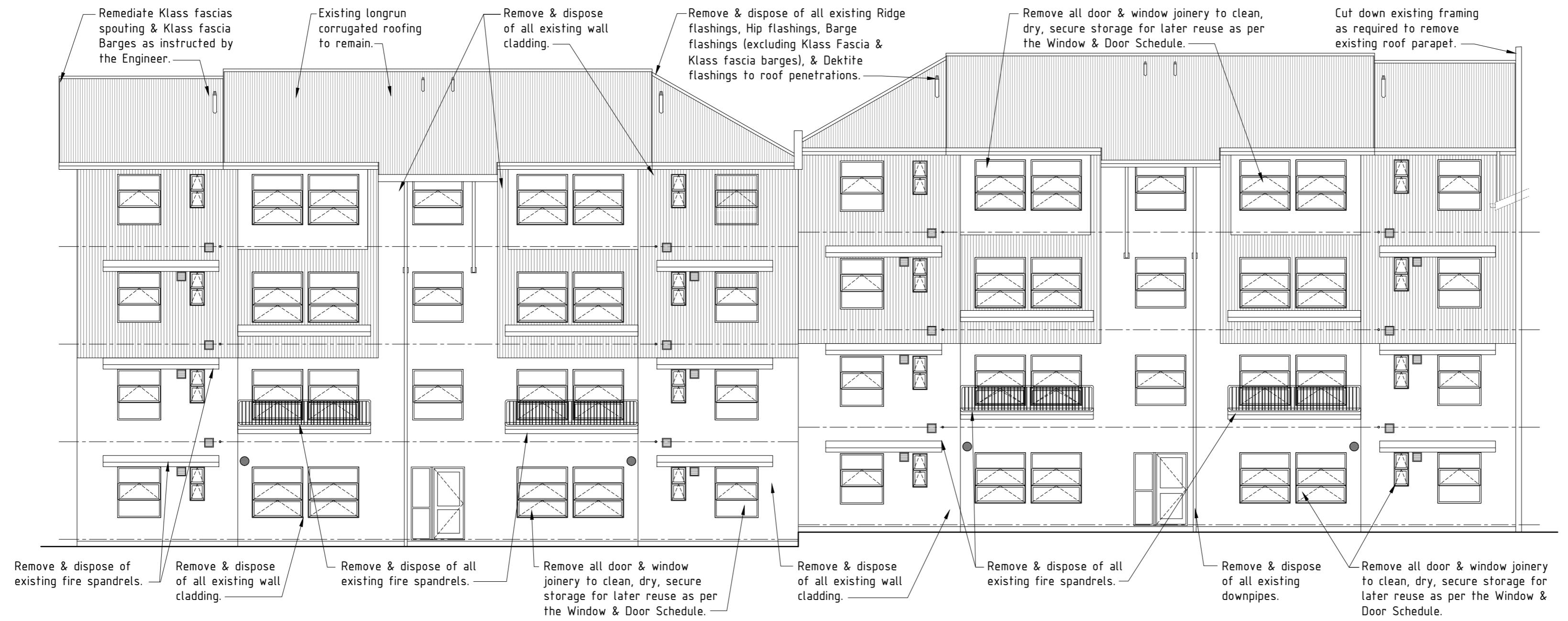
Project: Remedial Works For Weathertightness Drummond Street Complex Mount Cook Wellington

Title: Existing & Proposed West Elevation Blocks A, B & E

Issue: Building Consent/Tender Drawn: TJ Date: July 2013

Checked: DS Scale: 1:100@A2

Number: A207 Rev: A



### NOTE:

#### EXISTING ELEVATIONS :

- All existing wall claddings, & building wrap is to be removed & disposed of.
- All steel joists to be remediated where specified. Engineer to determine on site.
- All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged, wet or surplus insulation is to be disposed of.
- Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.

#### ALUMINUM JOINERY:

- All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect remaining removal joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the Engineer.

#### STORMWATER:

- Existing gutters are to be retained unless otherwise specified by the Engineer.
- Remove & dispose of all existing 80mm PVC downpipes. After existing 80mm spouting droppers, as required to accommodate installation of new 100mm downpipes.

#### PROPOSED ELEVATIONS :

- PBS Eterpan Refined panels on PBS VentClad Expressed Joint System on 20mm x 40mm H31 MSG8 VentClad timber cavity battens on Marshall Waterproofing Tekton house wrap on 6mm/7.5mm PBS RAB board. Cladding to be fixed to timber framing with 10G x 60mm CSK SS screws. Refer to plans and schedule of works for extent of RAB Boards.

#### VERTICAL RUN:

- Vertically run Colorsteel Maxx Metdek885 profiled metal wall cladding on 20mm x 40mm H32 MSG8 timber cavity battens on Marshall Waterproofing Tekton house wrap on 7.5mm PBS Rigid Air Barrier Cladding to be fixed to timber structure with 12G x 65mm hex head T11 screws.

#### ALUMINUM JOINERY :

- All joinery is to be recovered from storage, remediated or replaced as per the Window & Door Schedule as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sized PEF backing rod & MS Sikaflex sealant all to manufacturers details & E2/AST.

#### STORMWATER:

- Existing gutters are to be retained unless otherwise specified by the Engineer.
- After existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC DWV downpipes & fix in place with grade 316 Stainless Steel Munson Rings.
- Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

A Building Consent/Tender 02 TJ 07/13  
0 Tender 01 TJ 07/12  
Rev Issue By Date



Project: Remedial Works For Weathertightness Drummond Street Complex Mount Cook Wellington

Title: Existing & Proposed West Elevation Blocks D & E

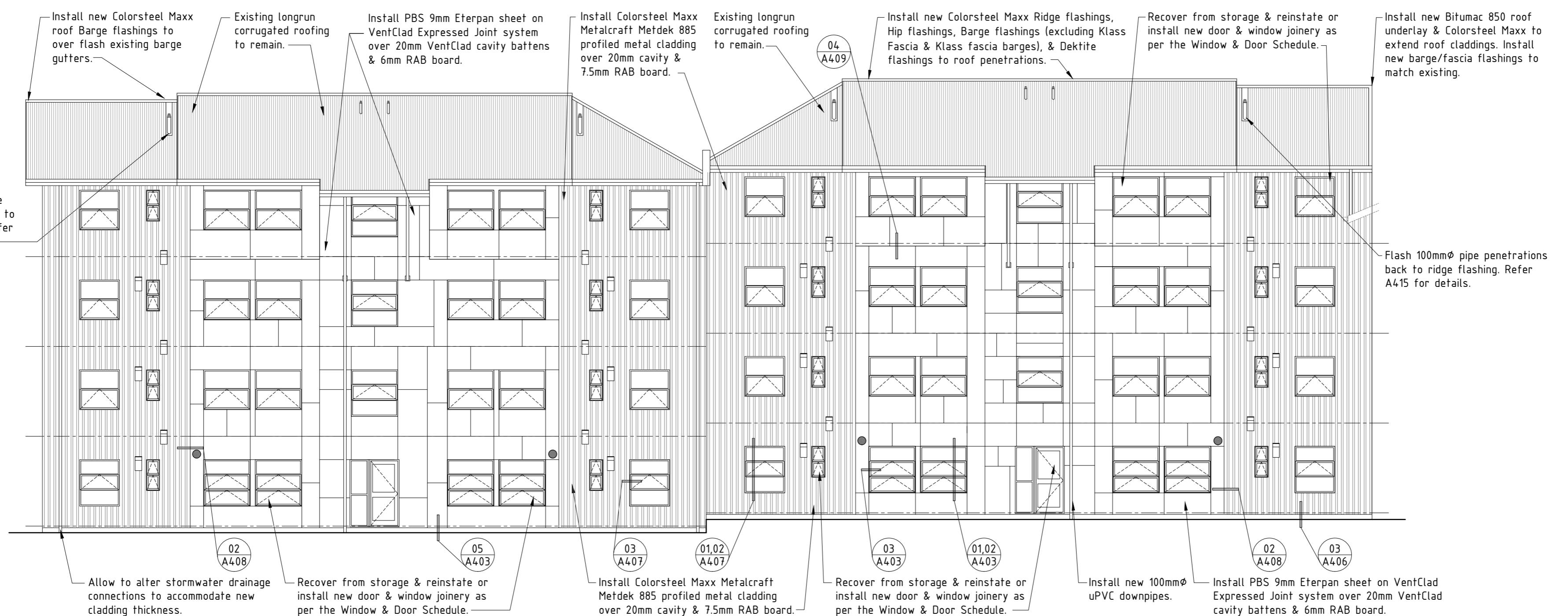
Issue: Building Consent/Tender

Drawn: TJ Date: July 2013

Checked: DS Scale: 1:100@A2

Number: Rev:

A208 A



### PROPOSED WEST ELEVATION - BLOCK D & BLOCK E :