

REMEDICATION
OF
DRUMMOND STREET COMPLEX
FOR
MOUNT COOK, WELLINGTON
LOT 1 DP 90314

DRAWING REGISTER

| | |
|-------|--|
| A000 | Cover Page |
| A000b | Fixing Requirements |
| A100 | Existing Site Plan |
| A100b | Proposed Construction Stages – Option One |
| A100c | Proposed Construction Stages – Option Two |
| A101 | Existing Ground Floor Plan |
| A102 | Existing First Floor Plan |
| A103 | Existing Second Floor Plan |
| A104 | Existing Third Floor Plan |
| A105 | Existing Roof Plan |
| A106 | Proposed Ground Floor Plan |
| A107 | Proposed First Floor Plan |
| A108 | Proposed Second Floor Plan |
| A109 | Proposed Third Floor Plan |
| A110 | Proposed Roof Plan |
| A200 | Existing & Proposed North Elevation Blocks A & E |
| A201 | Existing & Proposed North Elevation Block B |
| A202 | Existing & Proposed North Elevation Block C |
| A203 | Existing & Proposed East Elevation Blocks C, D & E |
| A204 | Existing & Proposed East Elevation Blocks A & B |
| A205 | Existing & Proposed South Elevation Block C |
| A206 | Existing & Proposed South Elevation Blocks A & B |
| A207 | Existing & Proposed West Elevation Blocks A, B & C |
| A208 | Existing & Proposed West Elevation Blocks D & E |
| A300 | Existing & Proposed Section A:A |
| A301 | Existing & Proposed Section B:B |
| A400 | VentClad – Fixing & XHR Flashing & Stop End Detail |
| A401 | VentClad – Int. & Ext. Corner Joint & InterStorey Details |
| A402 | VentClad – XHR Horizontal Joint, Int. & Ext. Corner Details |
| A403 | VentClad – Window Details |
| A404 | VentClad – Penetration Details |
| A405 | VentClad – Soffit, Horizontal Joint, Roof to Wall Junction Details |
| A406 | Metdek885 – Int. & Ext. Corner, Cladding to Ground & Soffit Details |
| A407 | Metdek885 – Window Details |
| A408 | Metdek885 – Wall to Roof Junction & Horizontal Control Joint Detail |
| A409 | Metdek885 – Fire Alarm Panel Box Details & Soffit Detail |
| A410 | Int. & Ext Corner Inter-cladding Junction Details, Light Penetration Details |
| A411 | Cowl Details |
| A412 | Roof Strut Fixing Detail, Apron Flashing/Kickout Detail |
| A413 | Concrete Nib Detail, Retaining Wall/Cadding Flashing Detail. |
| A414 | Roof to Wall Junction Detail, Fascia Over-Flashings |
| A415 | Roof Penetration Details |
| A500 | Window and Door Schedule |



SITE NOTES

This site is zoned as a MEDIUM wind zone. Ensure all appropriate fixings, connections, tie downs, glazing, etc are used for this site.
This site is zoned as exposure zone C. Ensure all materials comply with this zone.
Minimum clearances between floor level and ground level to be 150mm to sealed ground and 225mm to unsealed ground

GENERAL CONSTRUCTION NOTES:

All work to comply with the NZBC, council requirements and any relevant Building Standards and best trade practices.
All references to NZ standards and codes are to be taken to mean the latest versions.
Do not scale from any drawing – if it is not dimensioned do not scale.
Check any requirements of the approved resource consent documents if applicable.
Install all materials/products/systems in accordance with the manufacturer's specifications and instructions. Consult with manufacturer if required.
Any elements designed by an engineer must be checked on site by that engineer. It is the contractor's responsibility to ensure the engineer inspects the work and that written evidence is provided to the council as required.
All details to be constructed as detailed. Any variations must be approved by Wellington City Council as a Building Consent amendment.
Contractor to check all dimensions on site. Contact designer where any contradictions exist.
Refer to both the main specification and the addenda specifications during construction.
Refer to the engineers drawings and details if involved during construction.

FRAMING NOTES:

All bottom plates, lintels to external walls and wall framing to wet areas to be H3.2. All other framing to be H1.2 treated kiln dried timber unless otherwise specified.
All timber to be MSG8 graded unless specified otherwise.
Stud sizes and centres to comply with NZS3604:2011 / as per A100b.
All fixings to be 3.16 stainless steel.
All opening lintels, head trimmer and sill trimmers to be connected to studs to comply with NZS3604:2011 / as per A100b.
Fixings around openings to resist uplift are to be in accordance with NZS 3604:2011 / as per A100b.
Bottom plates fixed with 316 stainless steel M12 truebolts & 50x50x3mm washers to comply with NZS3604:2011 or approved anchors installed to manufacturer's specifications.
Where concrete nibs are to be installed allow to fix as per construction drawing A418.
Stud to plate fixings to comply with NZS 3604:2011 / as per A100b or approved hold down connections. Installed to manufacturer's specifications.

CONSTRUCTION NOTES:

13mm GIB board to ceilings.
10mm GIB board to walls.
Villaboard 9mm to wet areas.
70x35 timber ceiling battens at 600cirs.
Skirtings to be confirmed with owner.
Bracing to be installed to manufacturers specifications

CLADDING NOTES:

Return building wrap into all openings as required by NZBC E2 and fix with approved flexible flashing tape.
Install flashings to comply with NZBC E2 and NZS3604 and to manufacturer's requirements.
All flashing laps to comply with NZBC E2/AS1 if not fully welded
Install air seals as per schedule of works.

INSULATION NOTES:

The contractor should assess the condition of all existing insulation and any undamaged, uncontaminated and dry insulation suitable for re-use should be removed for future reinstatement. All contaminated, wet of discoloured insulation is to be removed from site for disposal.

SCHEDULE OF TIMBER TREATMENT:

- H1.2
- Low risk interior wall framing.
 - Intermediate interior floor framing.
- H3.1
- Cavity battens and fascia boards
- H3.2
- Framing protected from the weather, above ground with the possibility of exposure to moisture.
 - Exterior walls protected from the weather.
 - Wall framing.
 - Subfloor framing except piles.
 - Framing exposed to intermittent moisture, above ground but protected from the weather by an approved paint system or cladding.
 - Wall and floor framing to at risk wet areas.
 - Roof framing below 10 degrees
 - Exterior painted posts and beams
 - Enclosed lintels and posts supporting enclosed balconies.
 - Enclosed balcony ply and joists.
 - Framing protected from the weather and above ground (not sub-floor framing).
 - Roof and ceiling framing purlins
 - Framing exposed to the weather above ground with a risk of trapped water.
 - External rafters and beams.
 - Timber slatted decking joists and bearers.
 - Fence pailings and rails not in contact with ground.

- H5
- Timber in contact with the ground.
 - Piles.

NOTE:

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

| | | | |
|-----|----------------------------|----|-------|
| A | Building Consent/Tender 02 | TJ | 07/13 |
| 0 | Tender 01 | TJ | 07/12 |
| Rev | Issue | By | Date |

helfen

Helfen Limited Building Surveyors

➦ 127 Park Road, Miramar 6022
➔ PO Box 15-198, Wellington 6243

☎ 04 388 8666
📠 04 380 9049
✉ info@helfen.co.nz

Project: Remedial Works
For Weatherhighness
Drummond Street Complex
Mount Cook
Wellington

Title: Cover Page
Floor Plan

| | | | |
|----------|-------------------------|--------|-----------|
| Issue: | Building Consent/Tender | | |
| Drawn: | TJ | Date: | July 2013 |
| Checked: | DS | Scale: | NTS |
| Number: | Rev: | | |

A000 A

NOTE:

SECTION 8 – WALLS

NZS 3604:2011

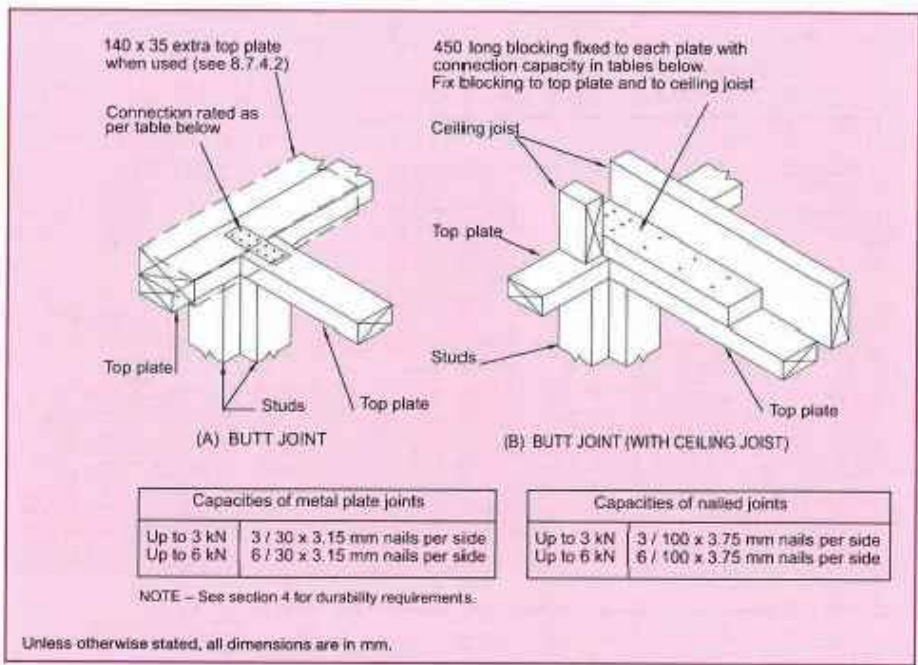


Figure 8.16 – Connecting top plates to external walls at right angles – Walls containing bracing (see 8.7.3.4)

SECTION 8 – WALLS

NZS 3604:2011

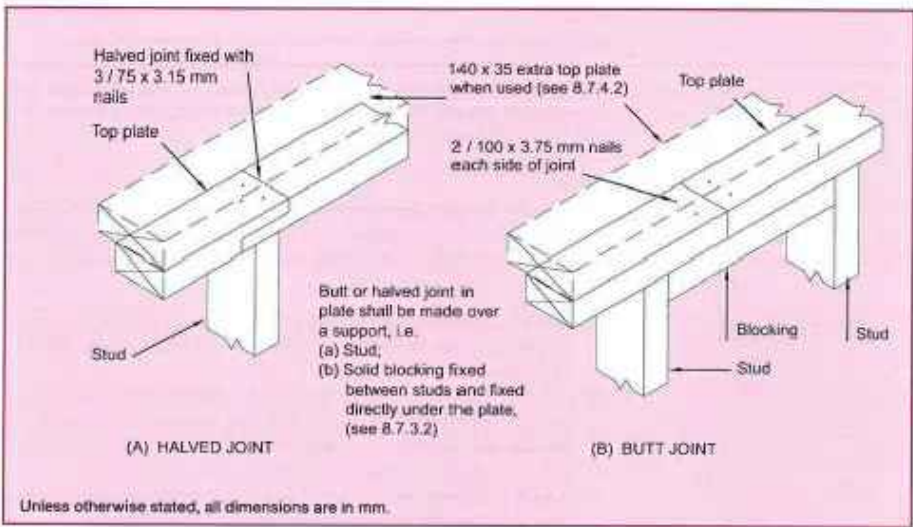


Figure 8.14 – Connecting top plates – Walls not containing bracing (see 8.7.3.2)

Figure 8.14 – Connecting top plates – Walls not containing bracing (see 8.7.3.2)

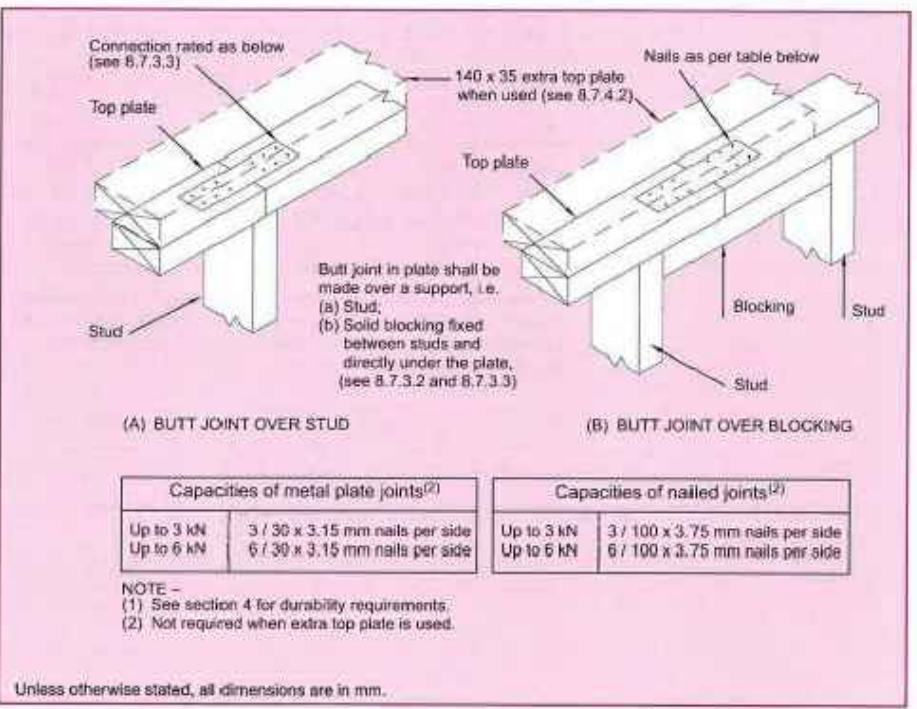


Figure 8.15 – Connecting top plates in line – Walls containing bracing (see 8.7.3.3)

SECTION 2 – GENERAL

NZS 3604:2011

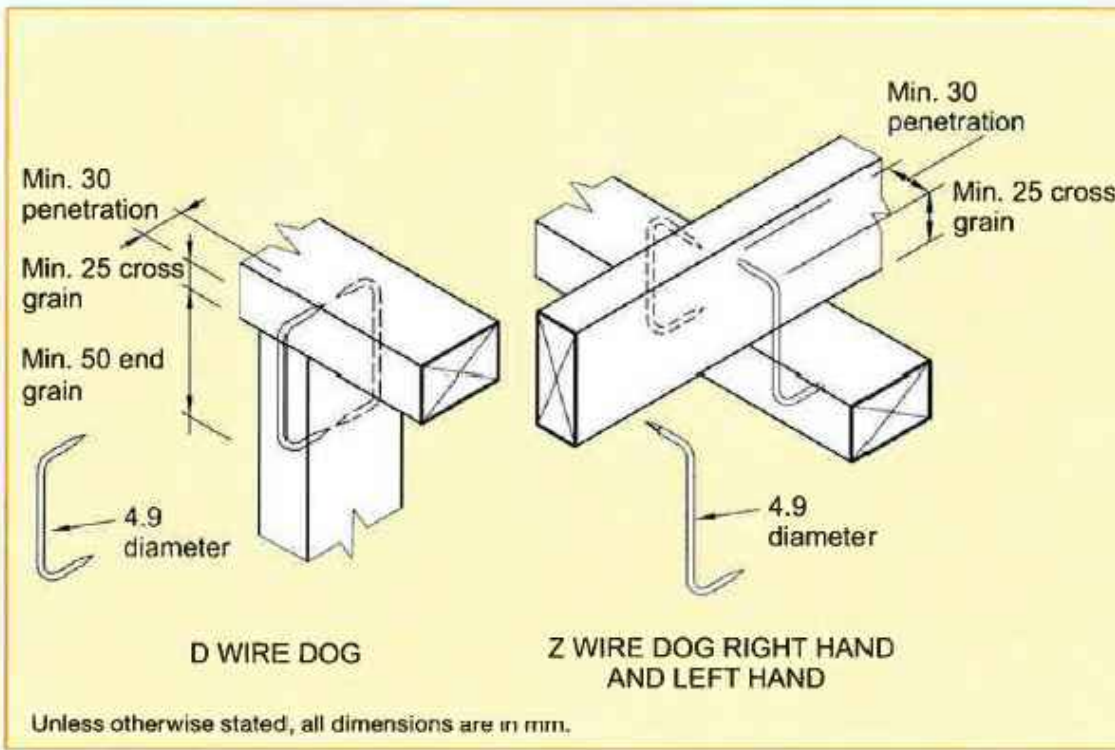


Figure 2.2 – Wire dogs (see 2.4.8)

SECTION 7 – FLOORS

NZS 3604:2011

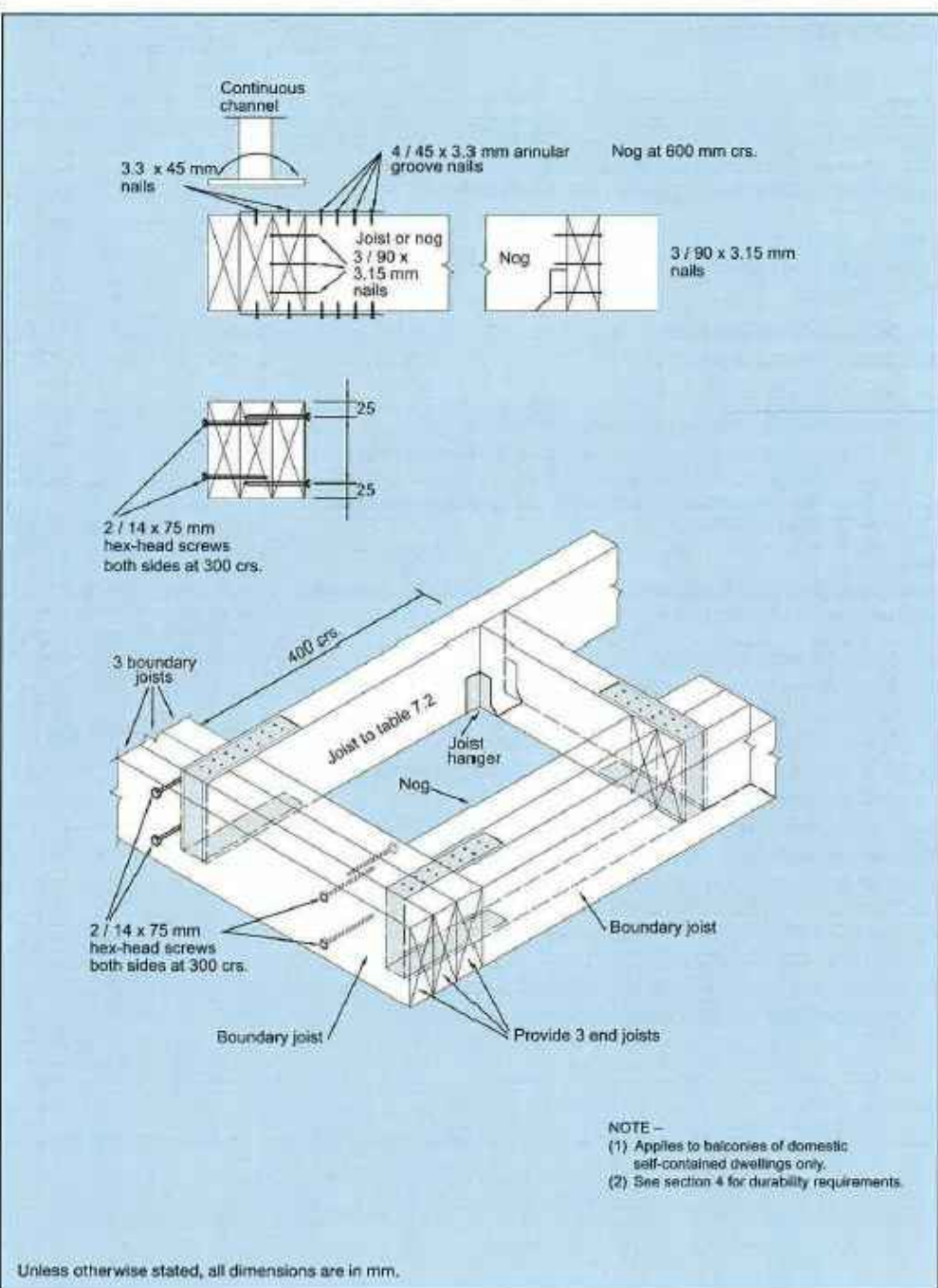


Figure 7.10(a) – Continuous channel support detail for cantilever balustrade (see 7.4.1.3)

SECTION 7 – FLOORS

NZS 3604:2011

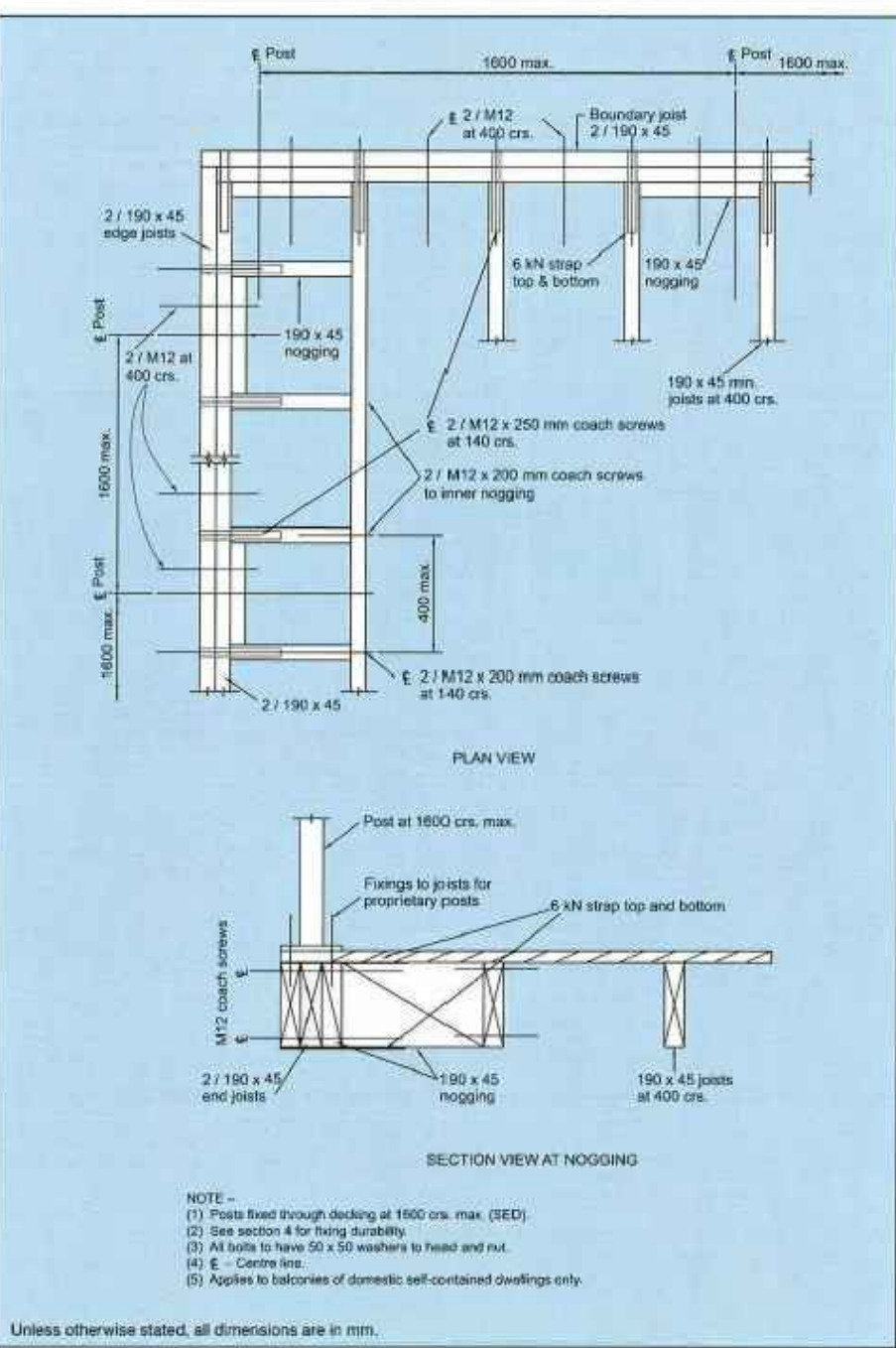


Figure 7.10(b) – Top-fixed post support detail for cantilever balustrade (see 7.4.1.3)

SECTION 8 – WALLS

NZS 3604:2011

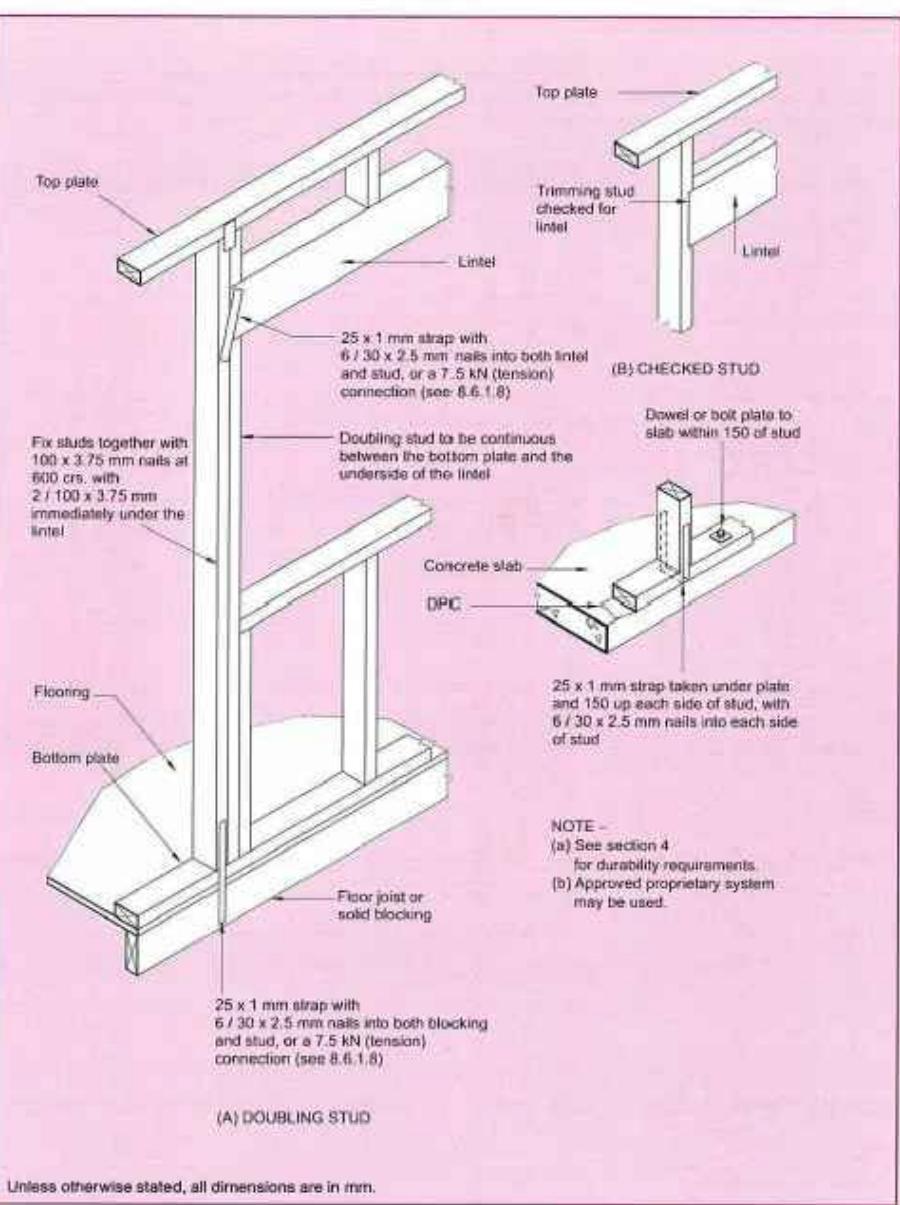


Figure 8.12 – Lintel fixing to prevent uplift (see 8.6.1.8 and table 8.14 (a) and (b))

SECTION 8 – WALLS

NZS 3604:2011

Table 8.19 – Nailing schedule for hand-driven and power-driven nails (see 8.8.6)

| Joint | Hand-driven nails | | Power-driven nails | |
|--|--------------------------------------|---------------------------|--------------------------------------|---------------------------|
| | Length (mm) x diameter (mm) and type | Number/ Location | Length (mm) x diameter (mm) and type | Number/ Location |
| Bottom plate to floor framing at: | | | | |
| (a) External walls and internal wall bracing elements | 100 x 3.75 | 2 at 600 mm centres | 90 x 3.15 | 3 at 600 mm centres |
| (b) Internal walls (may be nailed to floor decking) | 100 x 3.75 | 1 at 600 mm centres | 90 x 3.15 | 1 at 600 mm centres |
| (c) Trimmer not exceeding 4.2 m long | 100 x 3.75 | 4 (end nailed) | 90 x 3.15 | 6 (end nailed) |
| Dwang to stud | 75 x 3.15 or 100 x 3.75 | 2 (skewed) 2 (end nailed) | 75 x 3.06 90 x 3.15 | 2 (skewed) 2 (end nailed) |
| Fishplate to straightened stud | 60 x 2.8 | 4 each side of cut | 60 x 2.8 | 4 (each side of cut) |
| Half joint in top plate | 75 x 3.15 | 3 | 75 x 3.06 | 4 |
| Lintel to trimming stud | 75 x 3.15 or 100 x 3.75 | 4 (skewed) 2 (end nailed) | 90 x 3.15 | 3 (end nailed) |
| Ribbon board to stud | 100 x 3.75 | 2 | 90 x 3.15 | 3 |
| Sill or header trimmer to trimming stud for: | | | | |
| (a) Trimmer not exceeding 2.4 m long | 100 x 3.75 | 2 (end nailed) | 90 x 3.15 | 3 (end nailed) |
| (b) Trimmer not exceeding 3.0 m long | 100 x 3.75 | 3 (end nailed) | 90 x 3.15 | 5 (end nailed) |
| (c) Trimmers not exceeding 3.6 m long | 100 x 3.75 | 4 (end nailed) | 90 x 3.15 | 6 (end nailed) |
| Solid plaster batten to stud | 60 x 2.8 (galv.) | 500 mm centres | 60 x 2.8 (galv.) | 500 mm centres |
| Stud to plate | 75 x 3.15 or 100 x 3.75 | 4 (skewed) 2 (end nailed) | 75 x 3.06 90 x 3.15 | 4 (skewed) 3 (end nailed) |
| Top plate 140 mm x 35 mm to 90 mm x 45 mm and top plate to lintel | 100 x 3.75 | 2 at 500 mm centres | 90 x 3.15 | 3 at 500 mm centres |
| Trimming studs at openings, blocking and studs at wall intersections | 100 x 3.75 | 600 mm centres | 90 x 3.15 | 600 mm centres |
| Trimming stud to doubled stud immediately under lintel | 100 x 3.75 | 2 | 90 x 3.15 | 2 |
| Waling to stud | 60 x 2.8 | 2 | 60 x 2.8 | 2 |

NOTE - (1) Nail lengths and diameters are the minimum required. (2) Refer to 4.4 for required protective coatings for metal fasteners. (3) For studs up to 2.7 m length, 2 / 90 x 3.15 power-driven nails (end nailed) are sufficient.

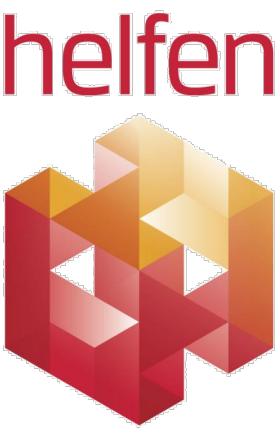
All fixings are to be 3.16 stainless steel
Engineer fixings are to supersede all fixings above
if specified

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

A Building Consent/Tender 02 TJ 07/13
Rev Issue By Date



Helfen Limited Building Surveyors

127 Park Road, Miramar 6022
PO Box 15-198, Wellington 6243
Tel: 04 388 8666
Tel: 04 380 9049
Email: info@helfen.co.nz

Project: Remedial Works
For Weatherhighness
Drummond Street Complex
Mount Cook
Wellington

Title: Fixing Requirements

Issue: Building Consent/Tender
Drawn: TJ Date: July 2013
Checked: DS Scale: NTS
Number: Rev:

A000b A

NOTE:

Refer to product Sheet/ Installation Guides for full fixing & installation details.

[illegible]

| | | | |
|-----|----------------------------|----|-------|
| A | Building Consent/Tender 02 | TJ | 07/13 |
| 0 | Tender 01 | TJ | 07/12 |
| Rev | Issue | By | Date |

127 Park Road, Miramar 6022
 PO Box 15-198, Wellington 6243
 04 388 8666
 04 380 9049
 info@helfen.co.nz

Project: Remedial Works
For Weathertightness
Drummond Street Complex
Mount Cook
Wellington

Title: Site Plan

Issue: Building Consent/Tender

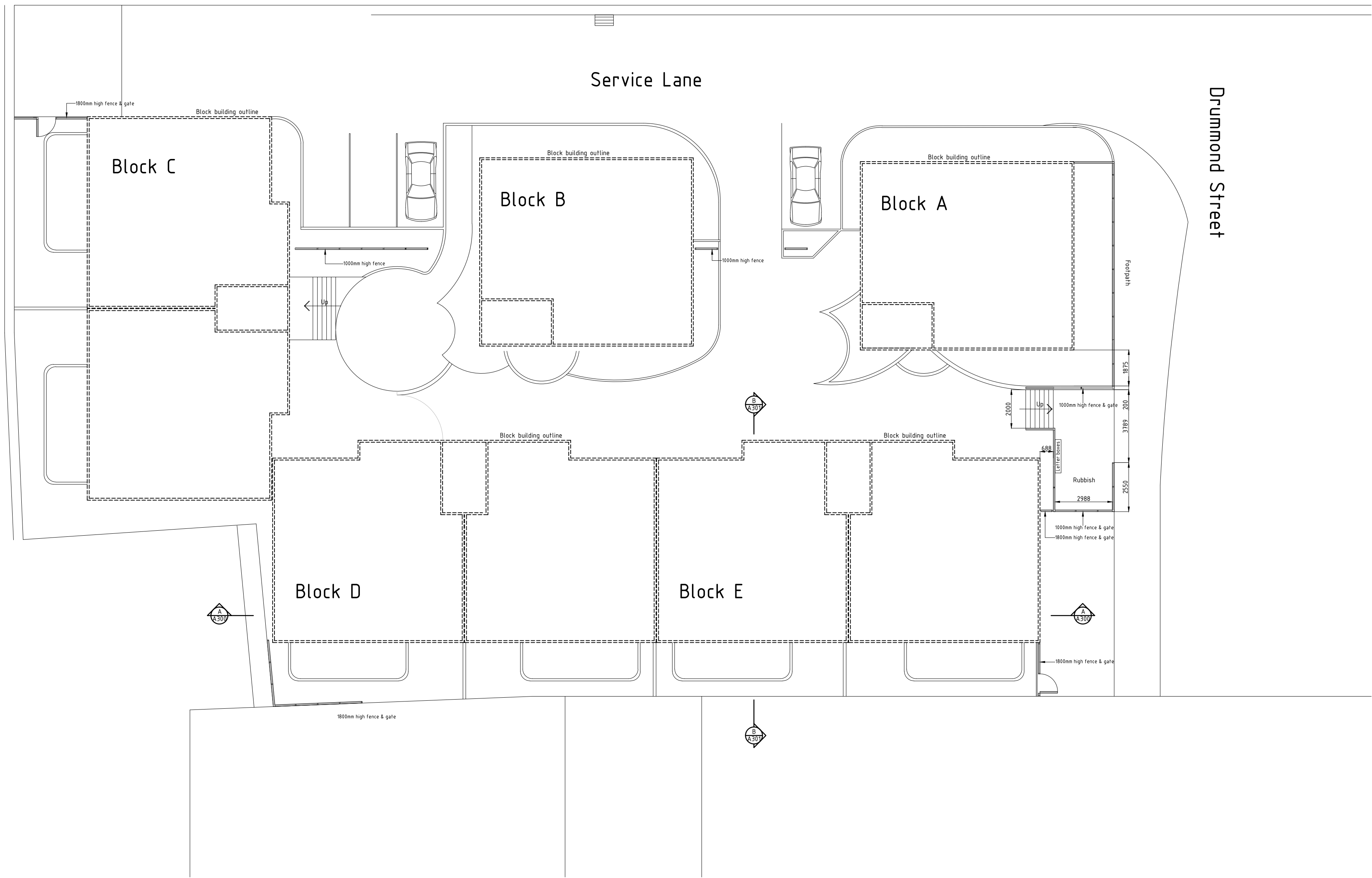
| | |
|-----------|-----------------|
| Drawn: TJ | Date: July 2013 |
|-----------|-----------------|

| | |
|-------------|-----------------|
| Checked: DS | Scale: 1:150@A2 |
|-------------|-----------------|

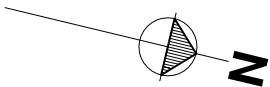
| | |
|---------|------|
| Number: | Rev: |
|---------|------|

| | |
|------|---|
| A100 | A |
|------|---|

A



SITE PLAN:



NOTE:

Legend:

Stage One:
Blocks B, C & D

NOTE:
* Blocks B and D to take
priority of completion over
Block C. Refer Schedule of
Works.

Stage Two:
Blocks A & E

NOTE: All dimensions to be checked
on site prior to commencing work. Do
not scale from drawings. Copyright
remains property of Helfen Limited.

Refer to product Sheet/ Installation
Guides for full fixing & installation
details.

Contractor to check All dimensions on
site prior to commencing work.

| | | | |
|-----|----------------------------|----|-------|
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| A | Building Consent/Tender 02 | TJ | 07/13 |
| Rev | Issue | By | Date |

helfen

Helfen Limited Building Surveyors
➡ 127 Park Road, Miramar 6022
➡ PO Box 15-198, Wellington 6243
☎ 04 388 8666
☎ 04 380 9049
✉ info@helfen.co.nz

Project:

Remedial Works
For Weatherightness
Drummond Street Complex
Mount Cook
Wellington

Title:

Site Plan
Construction Stages
Option One

Issue:

Building Consent/Tender

Drawn:

TJ

Date:

July 2013

Checked:

DS

Scale:

1:150@A2

Number:

A100b

Rev:

A

SITE PLAN - CONSTRUCTION STAGES:
OPTION ONE

NOTE:

Legend:

Stage One:
Blocks C & D

Stage Two:
Blocks A, B & E

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

| | | | |
|-----|----------------------------|----|-------|
| 0 | | | |
| A | Building Consent/Tender 02 | TJ | 07/13 |
| Rev | Issue | By | Date |

helfen

Helfen Limited Building Surveyors

127 Park Road, Miramar 6022
PO Box 15-198, Wellington 6243
04 388 8666
04 380 9049
info@helfen.co.nz

Project:

Remedial Works
For Weatherightness
Drummond Street Complex
Mount Cook
Wellington

Title:

Site Plan
Construction Stages
Option Two

Issue:

Building Consent/Tender

Drawn:

TJ

Date:

July 2013

Checked:

DS

Scale:

1:150@A2

Number:

A100c

Rev:

A

SITE PLAN - CONSTRUCTION STAGES:
OPTION TWO

NOTE:

- * All existing wall claddings, & building wrap is to be removed & disposed of.
- * Timber & steel framing to be remediated where specified - Engineer to determine on site.
- * All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged, wet or surplus insulation is to be disposed of.
- * Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.

ALUMINIUM JOINERY:
* All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect following removal. Joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the Engineer.

STORMWATER:
* Existing gutters are to be retained unless otherwise specified by the Engineer.

* Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes.

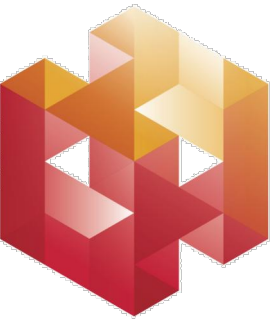
NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

| | | | |
|-----|----------------------------|----|-------|
| A | Building Consent/Tender 02 | TJ | 07/13 |
| 0 | Tender 01 | TJ | 07/12 |
| Rev | Issue | By | Date |

helfen



Helfen Limited Building Surveyors

127 Park Road, Miramar 6022
PO Box 15-198, Wellington 6243
Tel: 04 388 8666
Fax: 04 380 9049
Email: info@helfen.co.nz

Project: Remedial Works For Weatherhigness
Drummond Street Complex
Mount Cook
Wellington

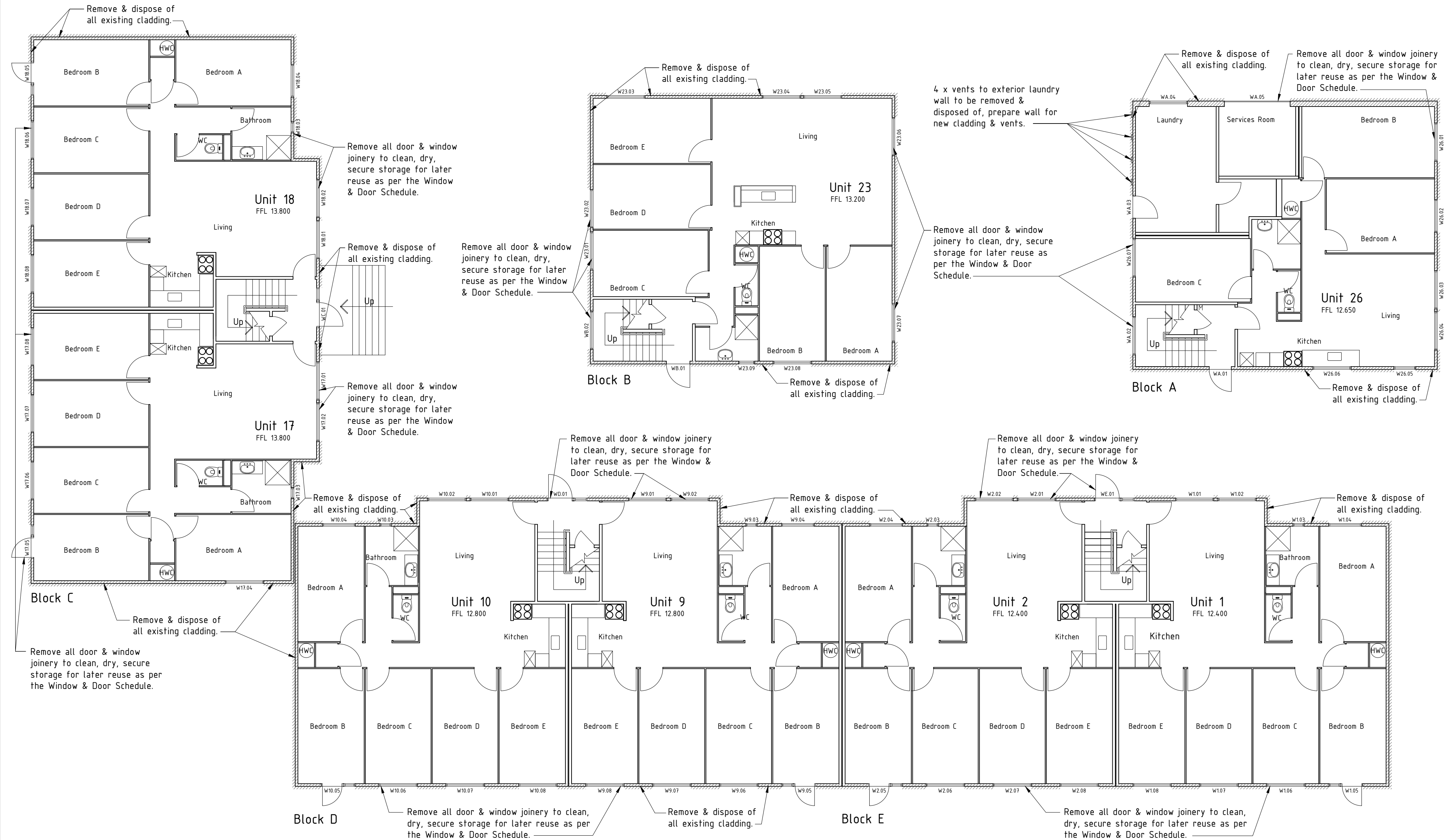
Title: Existing Ground Floor Plan

Issue: Building Consent/Tender

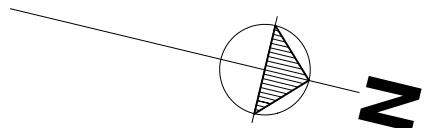
Drawn: TJ Date: July 2013

Checked: DS Scale: 1:100@A2

Number: A101 Rev: A



EXISTING GROUND FLOOR PLAN :



NOTE:

- * All existing wall claddings, & building wrap is to be removed & disposed of.
- * Timber & steel framing to be remediated where specified - Engineer to determine on site.
- * All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged, wet or surplus insulation is to be disposed of.
- * Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.

ALUMINIUM JOINERY:
* All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect following removal. Joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the Engineer.

STORMWATER:
* Existing gutters are to be retained unless otherwise specified by the Engineer.

* Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

| | | | | |
|-----|-------------------------|----|----|-------|
| A | Building Consent/Tender | 02 | TJ | 07/13 |
| 0 | Tender | 01 | TJ | 07/12 |
| Rev | Issue | | By | Date |

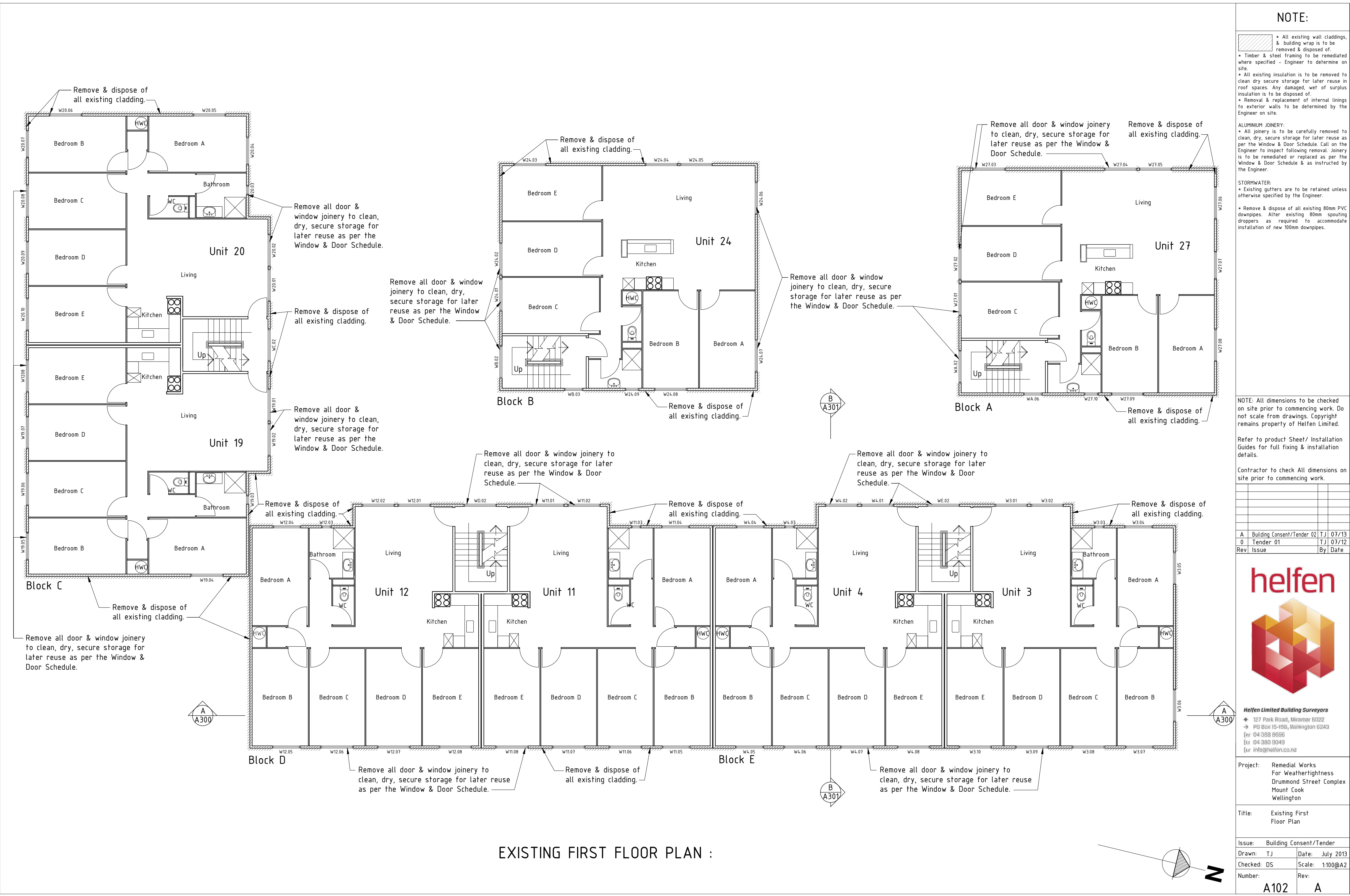


Helfen Limited Building Surveyors
127 Park Road, Miramar 6022
PO Box 15-198, Wellington 6243
Tel: 04 388 8666
Fax: 04 380 9049
Email: info@helfen.co.nz

Project: Remedial Works
For Weatherhighness
Drummond Street Complex
Mount Cook
Wellington

Title: Existing First
Floor Plan

Issue: Building Consent/Tender
Drawn: TJ Date: July 2013
Checked: DS Scale: 1:100@A2
Number: A102 Rev: A



EXISTING FIRST FLOOR PLAN :

NOTE:

- * All existing wall claddings, & building wrap is to be removed & disposed of.
- * Timber & steel framing to be remediated where specified - Engineer to determine on site.
- * All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged, wet or surplus insulation is to be disposed of.
- * Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.

ALUMINIUM JOINERY:
* All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect following removal. Joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the Engineer.

STORMWATER:
* Existing gutters are to be retained unless otherwise specified by the Engineer.

- * Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

| | | | | |
|-----|-------------------------|----|----|-------|
| A | Building Consent/Tender | 02 | TJ | 07/13 |
| 0 | Tender | 01 | TJ | 07/12 |
| Rev | Issue | | By | Date |



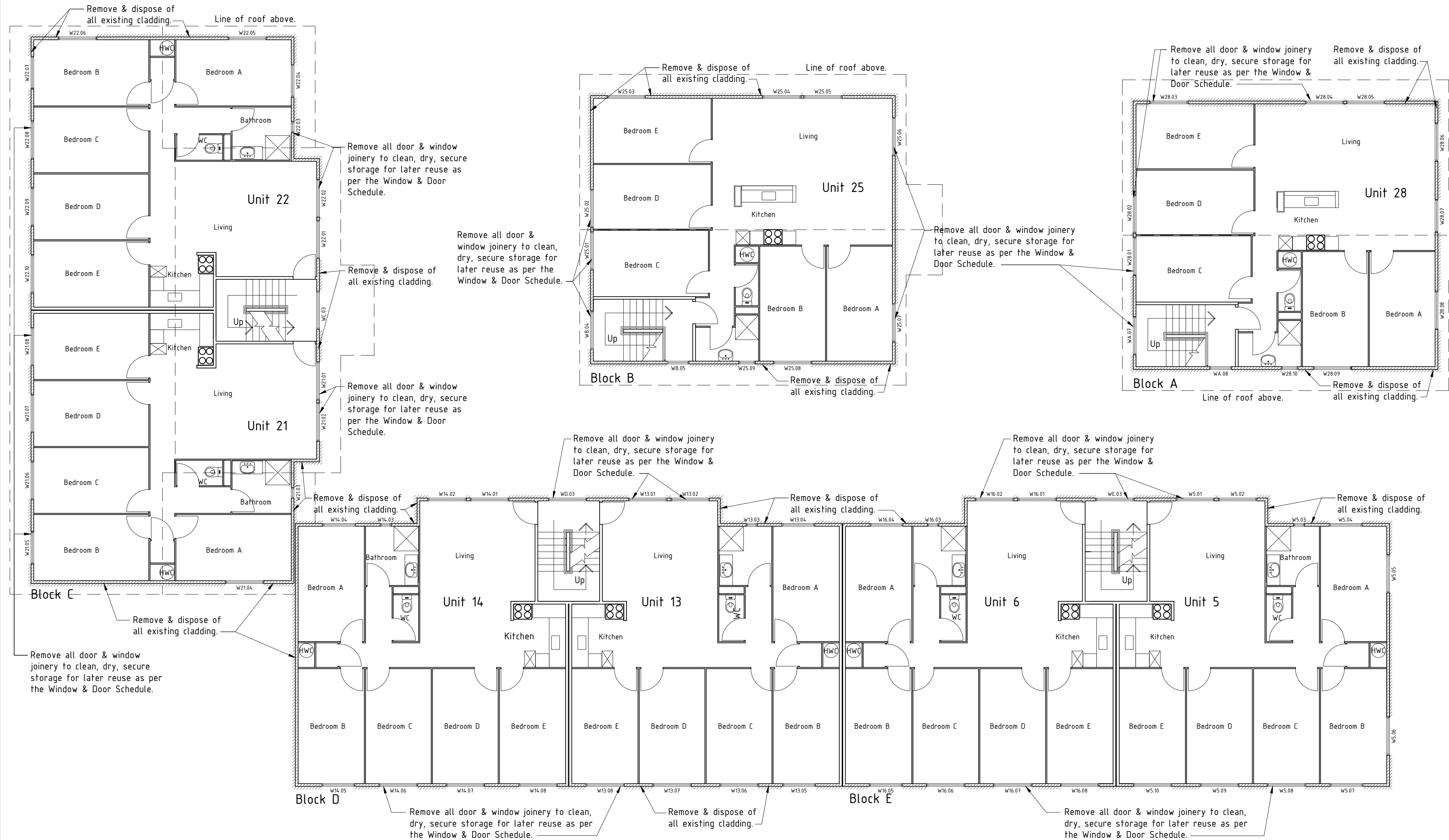
Helfen Limited Building Surveyors
127 Park Road, Miramar 6022
PO Box 15-198, Wellington 6243
Tel: 04 388 8666
Fax: 04 380 9049
Email: info@helfen.co.nz

Project: Remedial Works
For Weatherhighness
Drummond Street Complex
Mount Cook
Wellington


Title: Existing Second
Floor Plan

| | |
|----------|-------------------------|
| Issue: | Building Consent/Tender |
| Drawn: | TJ |
| Checked: | DS |
| Number: | |
| Date: | July 2013 |
| Scale: | 1:100@A2 |
| Rev: | |

A103 A



EXISTING SECOND FLOOR PLAN :

| | |
|---|--|
|  | <ul style="list-style-type: none"> * All existing wall claddings, & building wrap is to be removed & disposed of. * Timber & steel framing to be remediated where specified - Engineer to determine on site. * All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged, wet of surplus insulation is to be disposed of. * Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site. |
|---|--|

STORMWATER:
* Existing gutters are to be retained unless otherwise specified by the Engineer.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

| | | | |
|-----|----------------------------|----|-------|
| A | Building Consent/Tender 02 | TJ | 07/13 |
| 0 | Tender 01 | TJ | 07/12 |
| Rev | Issue | By | Date |

☎ 127 Park Road, Miramar 6022
→ PO Box 15-198, Wellington 6243
[P#] 04 388 8666
[F#] 04 380 9049
[E#] info@helfen.co.nz

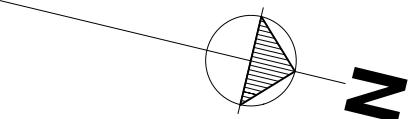
Project: Remedial Works
For Weathertightness
Drummond Street Complex
Mount Cook
Wellington

Title: Existing Third Floor Plan

| | |
|-------------|-----------------|
| Checked: DS | Scale: 1:100@A2 |
|-------------|-----------------|

| | |
|---------|------|
| Number: | Rev: |
|---------|------|

A



EXISTING THIRD FLOOR PLAN :

ROOF:

★ Existing roof cladding to be retained unless instructed otherwise by the Engineer.

* All Klass fascias, spouting & Klass fascia Barges to be cleaned, inspected & remediated as instructed by the Engineer.

* Existing gutters are to be retained unless otherwise specified by the Engineer.

* Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes.

*Remove & replace all existing roof tek screws with new like for like.

*Call on Engineer to inspect all bottom purlins to all roof perimeters & remove and replace or remediate as instructed.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

| | | | |
|-----|----------------------------|----|-------|
| | | | |
| | | | |
| | | | |
| | | | |
| A | Building Consent/Tender 02 | TJ | 07/13 |
| 0 | Tender 01 | TJ | 07/12 |
| Rev | Issue | By | Date |

Helpen Limited Building Surveyors

127 Park Road, Miramar 6022
 PO Box 15-198, Wellington 6243
 04 388 8666
 04 380 9049
 info@helfen.co.nz

Project: Remedial Works
For Weathertightness
Drummond Street Complex
Mount Cook
Wellington

Title: Existing Roof Plan

Issue: Building Consent/Tender

| | |
|-----------|-----------------|
| Drawn: TJ | Date: July 2013 |
|-----------|-----------------|

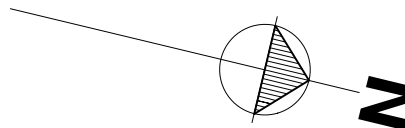
| | |
|-------------|-----------------|
| Checked: DS | Scale: 1:100@A2 |
|-------------|-----------------|

| | |
|---------|------|
| Number: | Rev: |
|---------|------|

| | |
|------|---|
| A105 | A |
|------|---|

A105

A



EXISTING ROOF PLAN :

NOTE:

PBS Eterpan Refined panels on PBS VentClad Expressed Joint System on 20mm x 40mm H3.1 MSG8 VentClad timber cavity battens on Marshall Waterproofing Tekton house wrap on 6mm/7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber framing with 10G x 60mm CSK SS screws. Refer to plans and schedule of Works for extent of RAB Boards.

Vertically run Colorsteel Maxx Metdek855 profiled metal wall cladding on 20mm x 40mm H3.2 MSG8 timber cavity battens on Marshall Waterproofing Tekton House Wrap on 7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber structure with 12G x 65mm hex head T17 screws.

ALUMINIUM JOINERY :
* All joinery is to be recovered from storage, remediated or replaced as per the Window & Door Schedule of as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sized PEF backing rod & MS Sikaflex sealant all to manufacturers details & E2/AS1.

STORMWATER:
* Existing gutters are to be retained unless otherwise specified by the Engineer.

* Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC DWV downpipes & fix in place with grade 316 Stainless Steel Munson Rings.

* Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

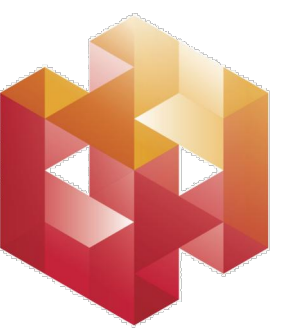
NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

| | | | |
|-----|-------------------------|-------|---------|
| A | Building Consent/Tender | 02 TJ | 07/13 |
| 0 | Tender | 01 TJ | 07/12 |
| Rev | Issue | | By Date |

helfen



Helfen Limited Building Surveyors

127 Park Road, Miramar 6022
PO Box 15-198, Wellington 6243
Tel 04 388 8666
Fax 04 380 9049
Email info@helfen.co.nz

Project: Remedial Works For Weatherhigness Drummond Street Complex Mount Cook Wellington

Title: Proposed Ground Floor Plan

Issue: Building Consent/Tender

Drawn: TJ Date: July 2013

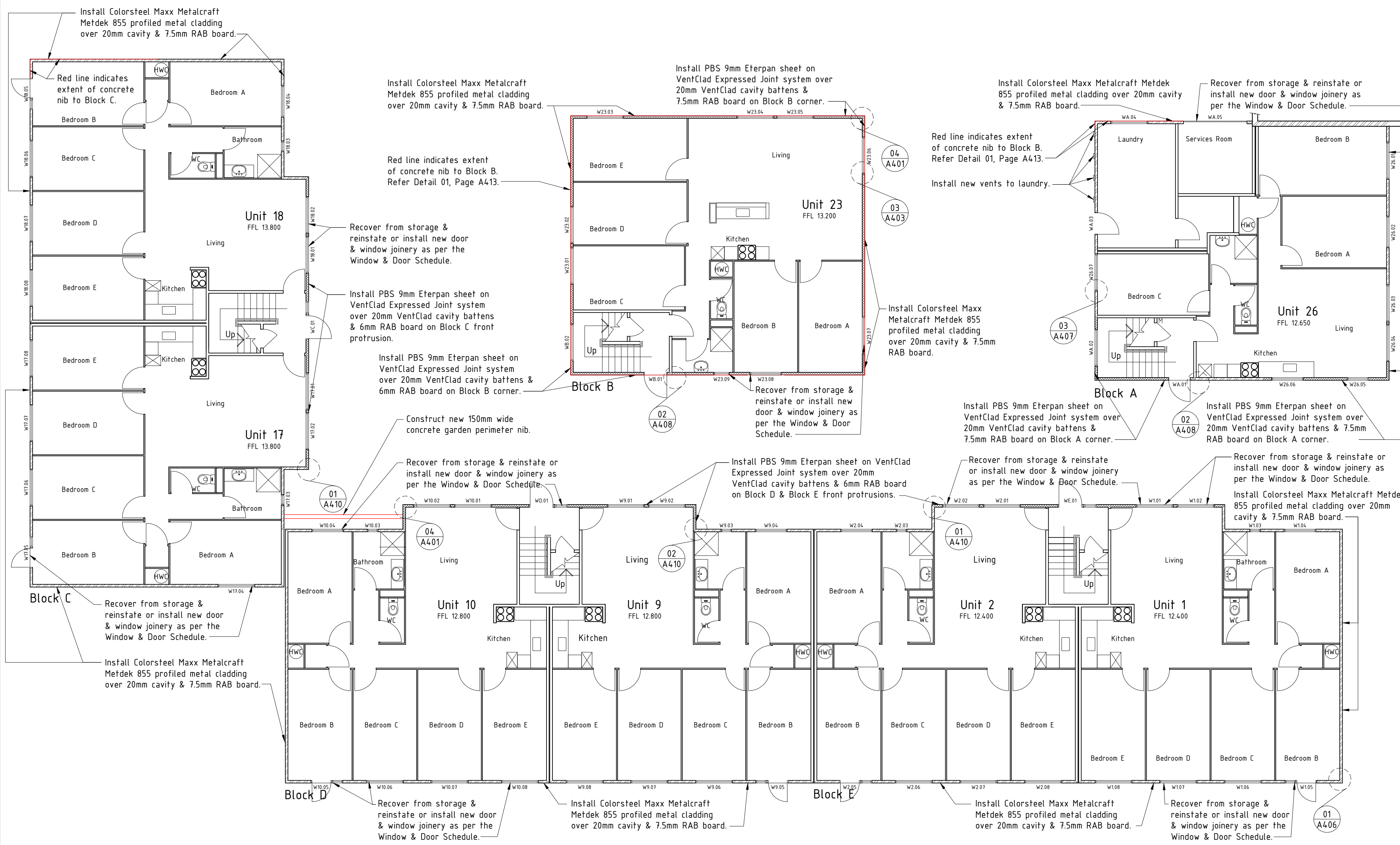
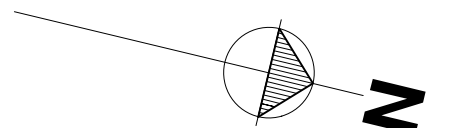
Checked: DS Scale: 1:100@A2

Number: Rev: A

A106

A

PROPOSED GROUND FLOOR PLAN :



NOTE:

PBS Eterpan Refined panels on PBS VentClad Expressed Joint System on 20mm x 40mm H3.1 MSG8 VentClad timber cavity battens on Marshall Waterproofing Tekton house wrap on 6mm/7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber framing with 10G x 60mm CSK SS screws. Refer to plans and schedule of Works for extent of RAB Boards.

Vertically run Colorsteel Maxx Metdek855 profiled metal wall cladding on 20mm x 40mm H3.2 MSG8 timber cavity battens on Marshall Waterproofing Tekton House Wrap on 7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber structure with 12G x 65mm hex head T17 screws.

ALUMINIUM JOINERY :
* All joinery is to be recovered from storage, remediated or replaced as per the Window & Door Schedule of as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sized PEF backing rod & MS Sikaflex sealant all to manufacturers details & E2/AS1.

STORMWATER:
* Existing gutters are to be retained unless otherwise specified by the Engineer.

* Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC DWV downpipes & fix in place with grade 316 Stainless Steel Munson Rings.

* Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

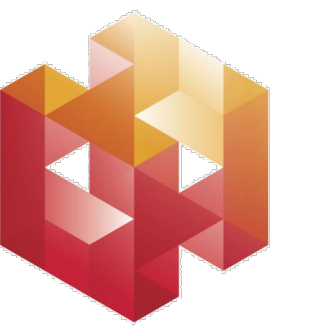
NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

| | | | |
|-----|-------------------------|-------|----------|
| A | Building Consent/Tender | 02 TJ | 07/13 |
| 0 | Tender | 01 | TJ 07/12 |
| Rev | Issue | | By Date |

helfen



Helfen Limited Building Surveyors

127 Park Road, Miramar 6022
PO Box 15-198, Wellington 6243
Ph 04 388 8666
Fax 04 380 9049
Email info@helfen.co.nz

Project: Remedial Works For Weatherhigness Drummond Street Complex Mount Cook Wellington

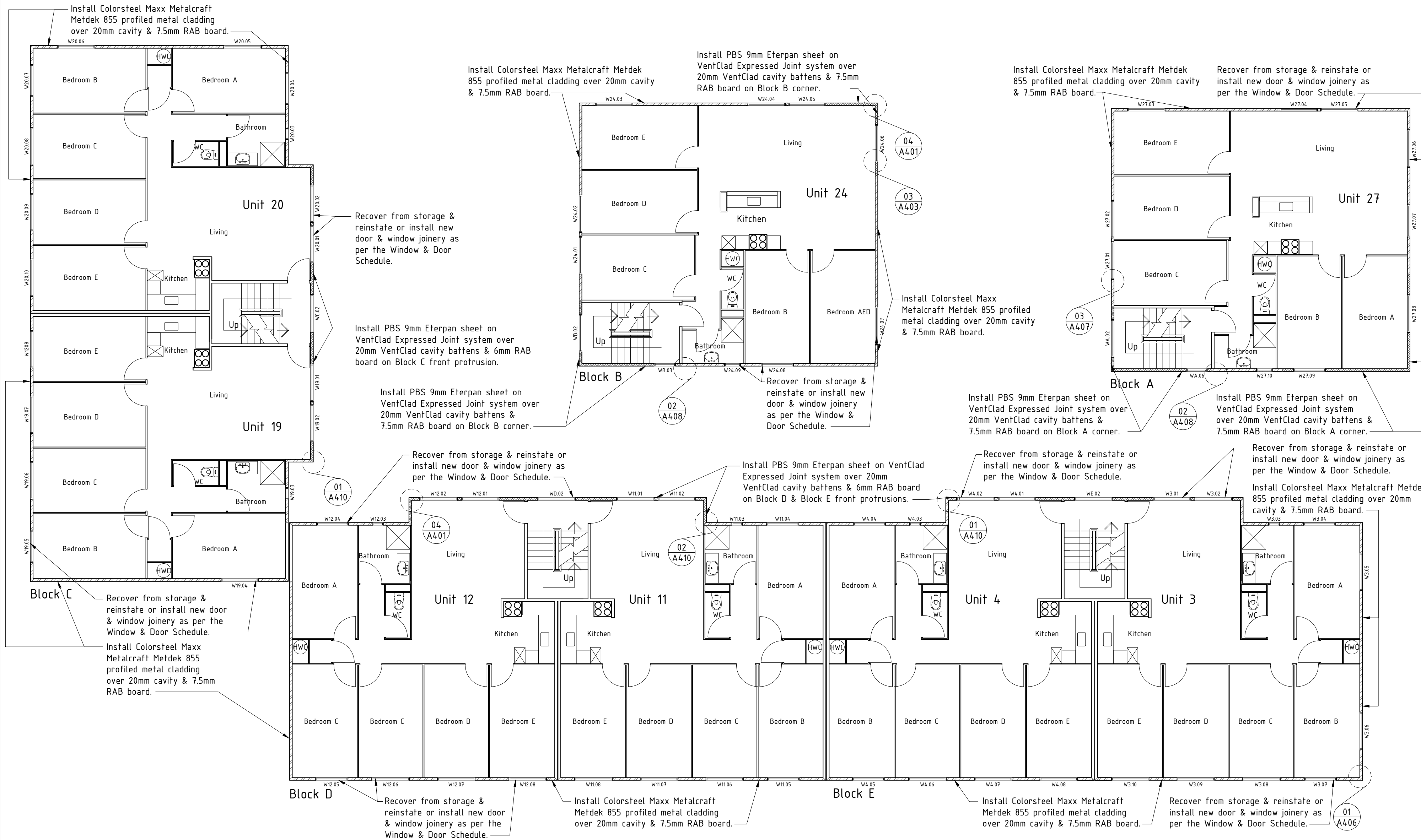
Title: Proposed First Floor Plan

Issue: Building Consent/Tender

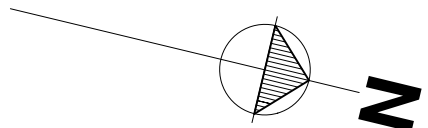
Drawn: TJ Date: July 2013

Checked: DS Scale: 1:100@A2

Number: A107 Rev: A



PROPOSED FIRST FLOOR PLAN :



NOTE:

PBS Eterpan Refined panels on PBS VentClad Expressed Joint System on 20mm x 40mm H3.1 MSG8 VentClad timber cavity battens on Marshall Waterproofing Tekton house wrap on 6mm/7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber framing with 10G x 60mm CSK SS screws. Refer to plans and schedule of Works for extent of RAB Boards.

Vertically run Colorsteel Maxx Metdek855 profiled metal wall cladding on 20mm x 40mm H3.2 MSG8 timber cavity battens on Marshall Waterproofing Tekton House Wrap on 7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber structure with 12G x 65mm hex head T17 screws.

ALUMINIUM JOINERY :
* All joinery is to be recovered from storage, remediated or replaced as per the Window & Door Schedule of as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sized PEF backing rod & MS Sikaflex sealant all to manufacturers details & E2/AS1.

STORMWATER:
* Existing gutters are to be retained unless otherwise specified by the Engineer.

* Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC DWV downpipes & fix in place with grade 316 Stainless Steel Munson Rings.

* Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

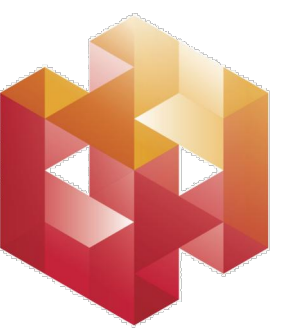
NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

| | | | |
|-----|-------------------------|-------|---------|
| A | Building Consent/Tender | 02 TJ | 07/13 |
| 0 | Tender | 01 TJ | 07/12 |
| Rev | Issue | | By Date |

helfen



Helfen Limited Building Surveyors

127 Park Road, Miramar 6022
PO Box 15-198, Wellington 6243
Tel: 04 388 8666
Fax: 04 380 9049
Email: info@helfen.co.nz

Project: Remedial Works For Weatherhigness Drummond Street Complex Mount Cook Wellington

Title: Proposed Second Floor Plan

Issue: Building Consent/Tender

Drawn: TJ Date: July 2013

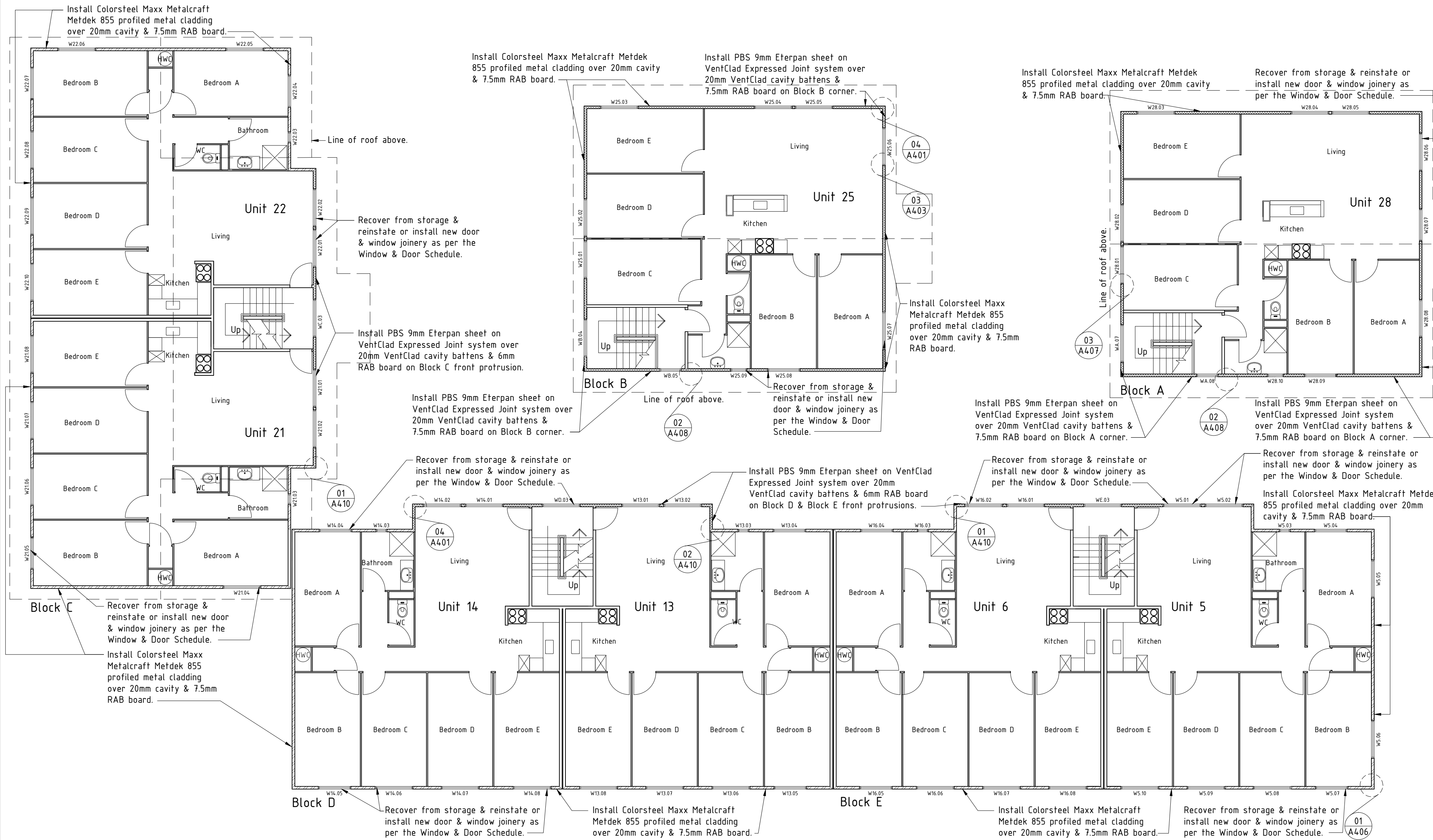
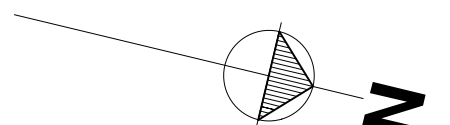
Checked: DS Scale: 1:100@A2

Number: Rev:

A108

A

PROPOSED SECOND FLOOR PLAN :



NOTE:

PBS Eterpan Refined panels on PBS VentClad Expressed Joint System on 20mm x 40mm H3.1 MSG8 VentClad timber cavity battens on Marshall Waterproofing Tekton house wrap on 6mm/7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber framing with 10G x 60mm CSK SS screws. Refer to plans and schedule of Works for extent of RAB Boards.

Vertically run Colorsteel Maxx Metdek885 profiled metal wall cladding on 20mm x 40mm H3.2 MSG8 timber cavity battens on Marshall Waterproofing Tekton House Wrap on 7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber structure with 12G x 65mm hex head T17 screws.

ALUMINIUM JOINERY :
* All joinery is to be recovered from storage, remediated or replaced as per the Window & Door Schedule of as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sized PEF backing rod & MS Sikaflex sealant all to manufacturers details & E2/AS1.

STORMWATER:
* Existing gutters are to be retained unless otherwise specified by the Engineer.

* Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC DWV downpipes & fix in place with grade 316 Stainless Steel Munson Rings.

* Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

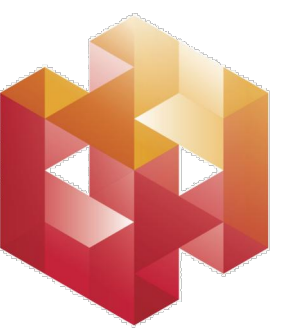
NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

| | | | | |
|-----|-------------------------|----|----|-------|
| A | Building Consent/Tender | 02 | TJ | 07/13 |
| 0 | Tender | 01 | TJ | 07/12 |
| Rev | Issue | | By | Date |

helfen



Helfen Limited Building Surveyors

127 Park Road, Miramar 6022
PO Box 15-198, Wellington 6243
Ph 04 388 8666
Fax 04 380 9049
Email info@helfen.co.nz

Project: Remedial Works For Weatherightness
Drummond Street Complex
Mount Cook
Wellington

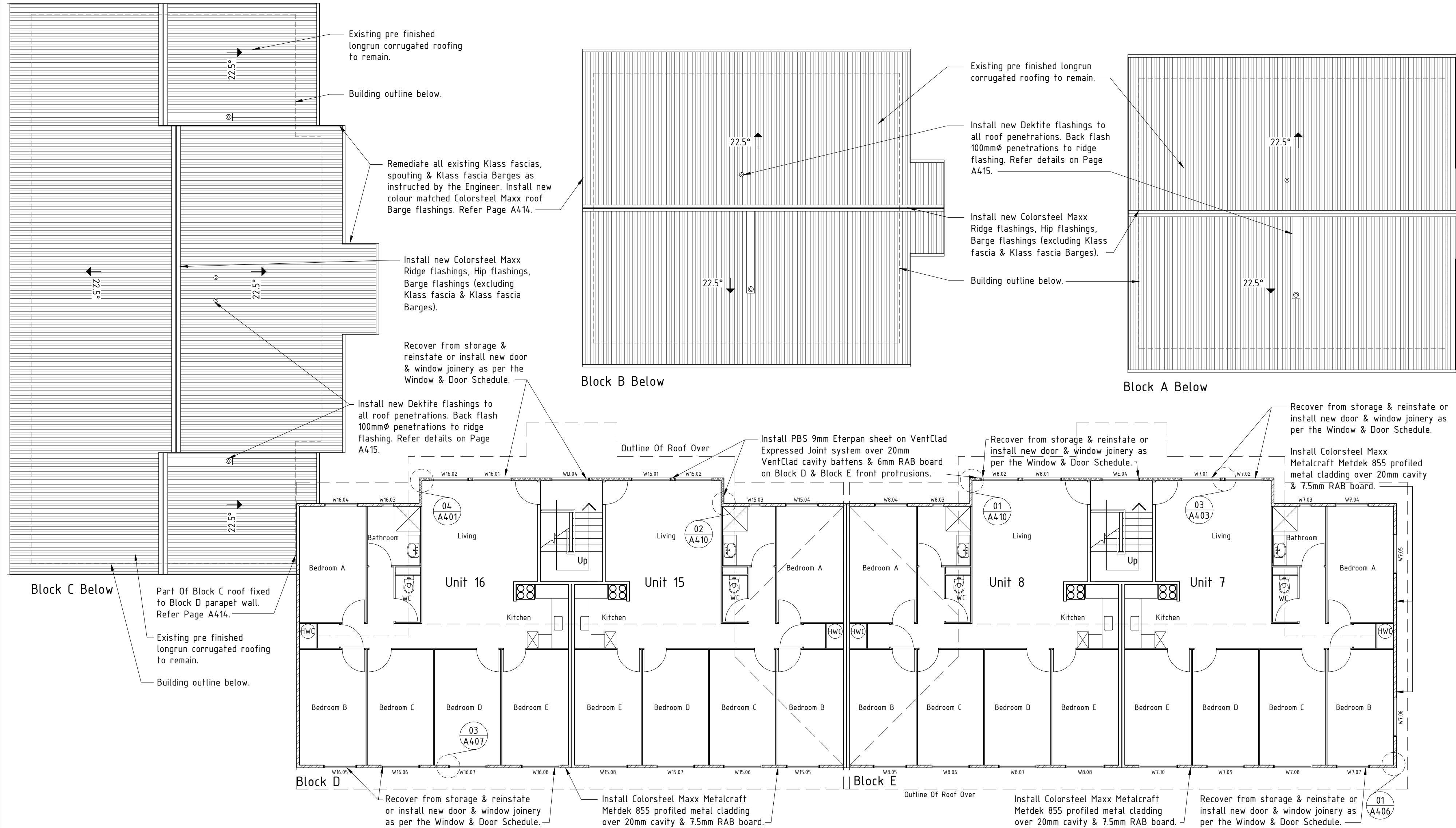
Title: Proposed Third Floor Plan

Issue: Building Consent/Tender

Drawn: TJ Date: July 2013

Checked: DS Scale: 1:100@A2

Number: A109 Rev: A



PROPOSED THIRD FLOOR PLAN :

NOTE:

ROOF:

* Install new Colorsteel Maxx Ridge flashings, Hip flashings, Barge flashings (excluding Klass fascia & Klass fascia Barges) & Deklite flashings to roof penetrations. Where pipe diameter of roof penetrations exceeds 80mm, allow to install new Deklite flashings over new Colorsteel Maxx back flashings.

* Following any remediation of Klass fascias, spouting & Klass fascia Barges as specified by the Engineer, install new colour matched, Colorsteel Maxx roof Barge flashings to over flash existing barge gutters.

* Existing gutters are to be retained unless otherwise specified by the Engineer.

* Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes.

* Remove & replace all existing roof tek screws with new like for like.

* Call on Engineer to inspect all bottom purlins to all roof perimeters & remove and replace or remediate as instructed.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

| | | | |
|-----|----------------------------|----|-------|
| A | Building Consent/Tender 02 | TJ | 07/13 |
| 0 | Tender 01 | TJ | 07/12 |
| Rev | Issue | By | Date |

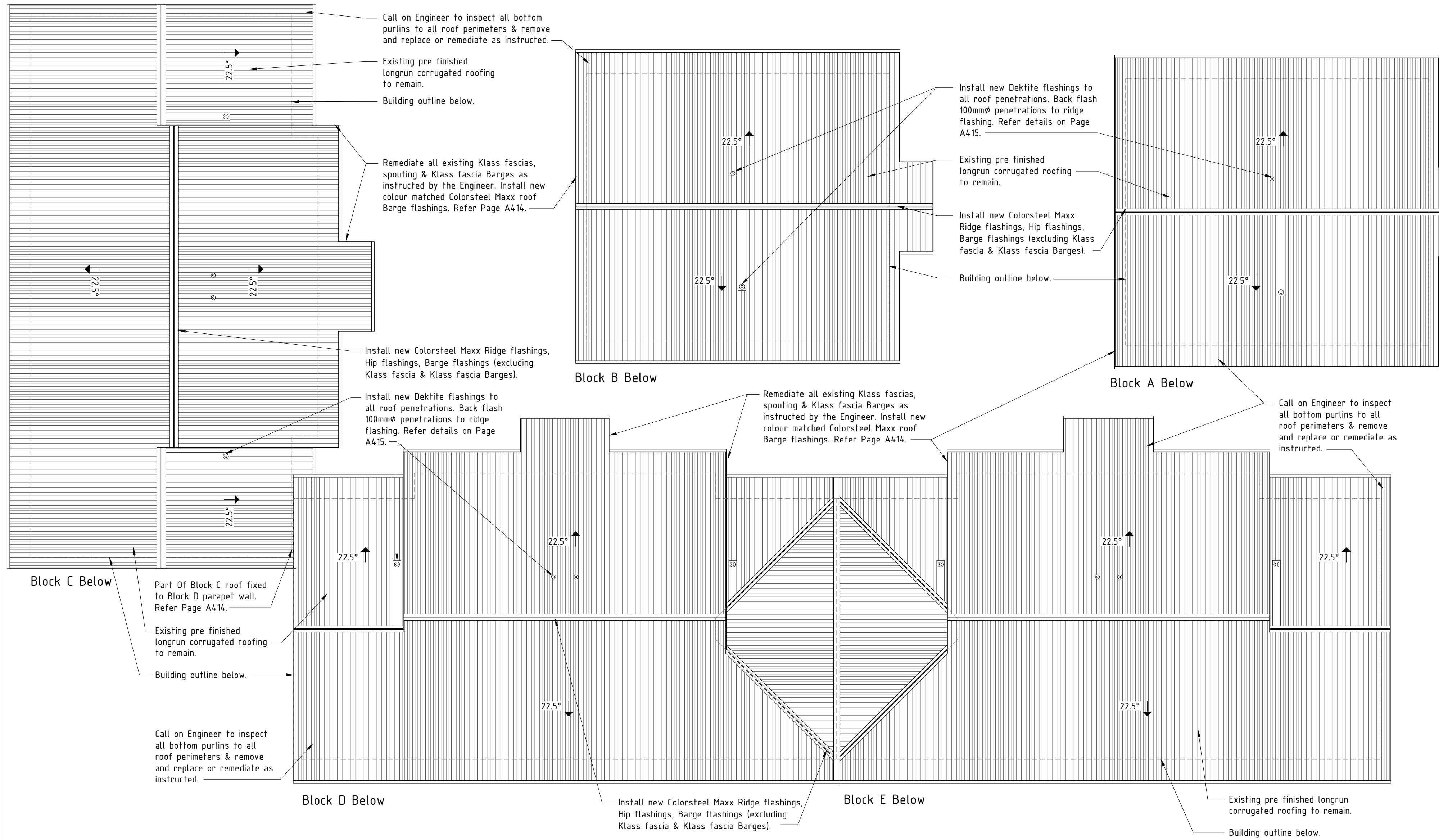


Helfen Limited Building Surveyors
127 Park Road, Miramar 6022
PO Box 15-198, Wellington 6243
Tel: 04 388 8666
Fax: 04 380 9049
Email: info@helfen.co.nz

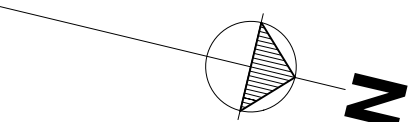
Project: Remedial Works For Weatherhighness Drummond Street Complex Mount Cook Wellington

Title: Proposed Roof Plan

| | | | |
|----------|-------------------------|--------|-----------|
| Issue: | Building Consent/Tender | | |
| Drawn: | TJ | Date: | July 2013 |
| Checked: | DS | Scale: | 1:100@A2 |
| Number: | A110 | Rev: | A |



PROPOSED ROOF PLAN :



EXISTING ELEVATIONS :

- * All existing wall claddings, & building wrap is to be removed & disposed of.
- * Timber & steel framing to be remediated where specified - Engineer to determine on site.
- * All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged, wet of surplus insulation is to be disposed of.
- * Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.

ALUMINIUM JOINERY:
 * All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect following removal. Joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the Engineer.

STORMWATER:
* Existing gutters are to be retained unless otherwise specified by the Engineer.

* Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes.

PROPOSED ELEVATIONS :

* PBS Eterpan Refined panels on PBS VentClad
Expressed Joint System on 20mm x 40mm H31 MSG8
VentClad timber cavity battens on Marshall
Waterproofing Tekton house wrap on 6mm/7.5mm PBS
Rigid Air Barrier. Cladding to be fixed to timber
framing with 10G x 60mm CSK SS screws.

Refer to plans and schedule of Works for extent of
RAB Boards.

Vertically run Colorsteel Maxx Metdek885 profiled metal wall cladding on 20mm x 40mm H3.2 MSG8 timber cavity battens on Marshall Waterproofing Tekton House Wrap on 7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber structure with 12G x 65mm hex head T17 screws.

ALUMINIUM JOINERY :
 * All joinery is to be recovered from storage, remediated or replaced as per the Window & Door Schedule of as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sized PEF backing rod & MS Sikaflex sealant all to manufacturers details & E2/AS1.

STORMWATER:
* Existing gutters are to be retained unless otherwise specified by the Engineer.

* Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC DWV downpipes & fix in place with grade 316 Stainless Steel Munson Rings.

* Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

| | | | |
|-----|----------------------------|----|-------|
| | | | |
| | | | |
| | | | |
| | | | |
| A | Building Consent/Tender 02 | TJ | 07/13 |
| 0 | Tender 01 | TJ | 07/12 |
| Rev | Issue | By | Date |

Helpen Limited Building Surveyors

127 Park Road, Miramar 6022
 PO Box 15-198, Wellington 6243
 [P] 04 388 8666
 [F] 04 380 9049
 [E] info@helfen.co.nz

Project: Remedial Works
For Weathertightness
Drummond Street Complex
Mount Cook
Wellington

Title: Existing & Proposed
North Elevation
Blocks A & E

Issue: Building Consent/Tender

| | |
|-------------|-----------------|
| Drawn: T.I. | Date: July 2013 |
|-------------|-----------------|

| | |
|-------------|-------------------|
| Drawn: DS | Date: July 2013 |
| Checked: DS | Scale: 1:100 @ A3 |

| | |
|-------------|-------------------|
| Checked: DS | Scale: 1:100 @ A2 |
| Mod: 1 | 3 |

Number: 1000 Rev: 1

| | |
|------|---|
| A200 | A |
|------|---|



NOTE:

- EXISTING ELEVATIONS :
- All existing wall claddings, & building wrap is to be removed & disposed of.
 - Timber & steel framing to be remediated where specified - Engineer to determine on site.
 - All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged, wet of surplus insulation is to be disposed of.
 - Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.
- ALUMINIUM JOINERY:
- All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect following removal. Joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the Engineer.
- STORMWATER:
- Existing gutters are to be retained unless otherwise specified by the Engineer.
 - Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes.
- PROPOSED ELEVATIONS :
- PBS Eterpan Refined panels on PBS VentClad Expressed Joint System on 20mm x 40mm H3.1 MSG8 VentClad timber cavity battens on Marshall Waterproofing Tekton house wrap on 6mm/7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber framing with 10G x 60mm CSK SS screws. Refer to plans and schedule of Works for extent of RAB Boards.
 - Vertically run Colorsteel Maxx Metdek885 profiled metal wall cladding on 20mm x 40mm H3.2 MSG8 timber cavity battens on Marshall Waterproofing Tekton House Wrap on 7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber structure with 12G x 65mm hex head T17 screws.
- ALUMINIUM JOINERY :
- All joinery is to be recovered from storage, remediated or replaced as per the Window & Door Schedule of as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sized PEF backing rod & MS Sealflex sealant all to manufacturers details & E2/AS1.
- STORMWATER:
- Existing gutters are to be retained unless otherwise specified by the Engineer.
 - Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC D/W downpipes & fix in place with grade 316 Stainless Steel Munson Rings.
 - Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

| | | |
|-----|-------------------------|----------|
| A | Building Consent/Tender | 10/07/13 |
| 0 | Tender 01 | TJ 07/12 |
| Rev | Issue | By Date |



Helfen Limited Building Surveyors
127 Park Road, Miramar 6022
PO Box 15-198, Wellington 6243
Ph 04 388 8666
Fax 04 380 9049
Email info@helfen.co.nz

Project: Remedial Works
For Weatherhighness
Drummond Street Complex
Mount Cook
Wellington

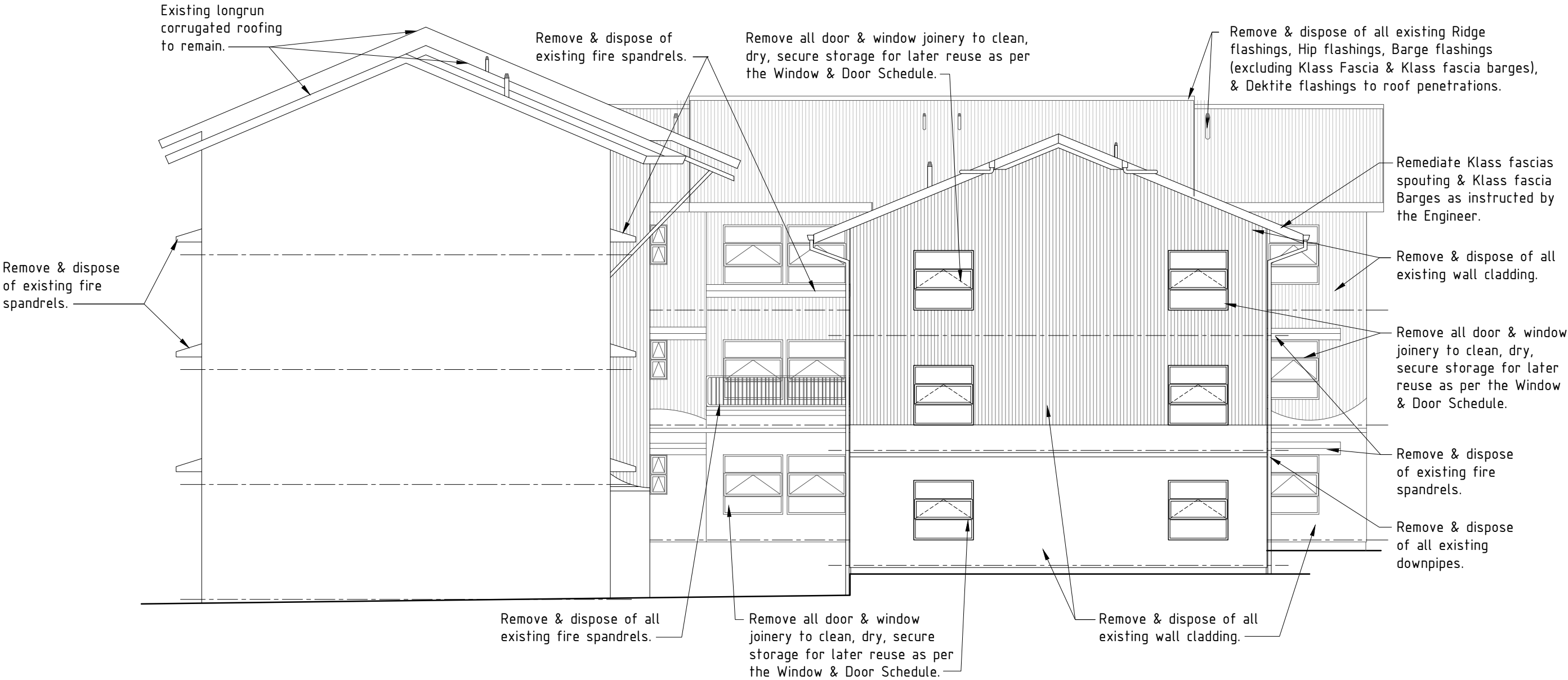
Title: Existing & Proposed
North Elevation
Block B

Issue: Building Consent/Tender

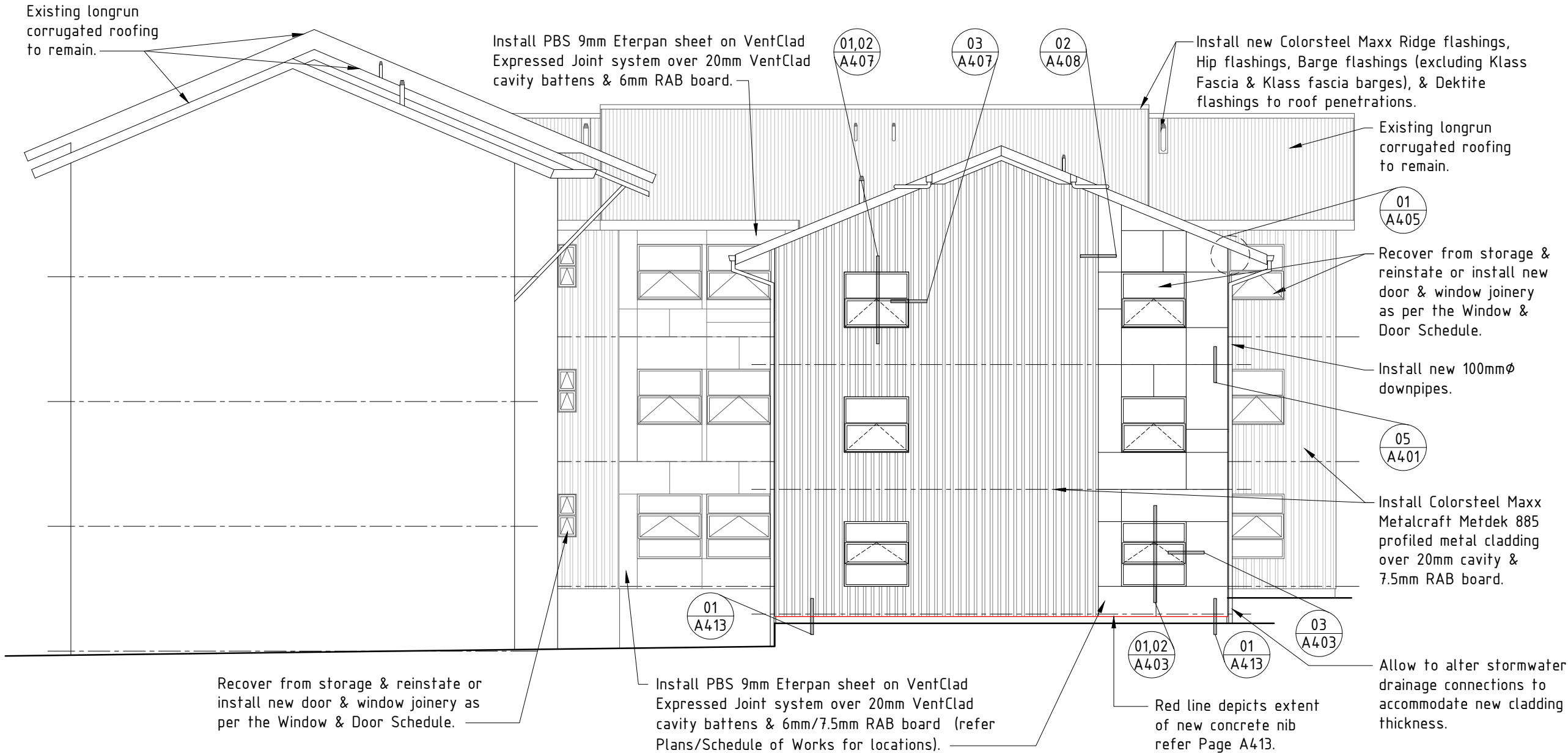
Drawn: TJ Date: July 2013

Checked: DS Scale: 1:100@A2

Number: A201 Rev: A



EXISTING NORTH ELEVATION – BLOCK B :



PROPOSED NORTH ELEVATION – BLOCK B :

EXISTING ELEVATIONS :

- * All existing wall claddings, & building wrap is to be removed & disposed of.
- * Timber & steel framing to be remediated where specified - Engineer to determine on site.
- * All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged, wet of surplus insulation is to be disposed of.
- * Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.

ALUMINIUM JOINERY:
 * All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect following removal. Joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the Engineer.

STORMWATER:
* Existing gutters are to be retained unless otherwise specified by the Engineer.

* Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes.

PROPOSED ELEVATIONS :

* PBS Eterpan Refined panels on PBS VentClad
Expressed Joint System on 20mm x 40mm H31 MS68
VentClad timber cavity battens on Marshall
Waterproofing Tekton house wrap on 6mm/7.5mm PBS
Rigid Air Barrier. Cladding to be fixed to timber
framing with 10G x 60mm CSK SS screws.
Refer to plans and schedule of Works for extent of
RAB Boards.

Vertically run Colorsteel Maxx Metdek885 profiled metal wall cladding on 20mm x 40mm H3.2 MSG8 timber cavity battens on Marshall Waterproofing Tekton House Wrap on 7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber structure with 12G x 65mm hex head T17 screws.

ALUMINIUM JOINERY :
 * All joinery is to be recovered from storage, remediated or replaced as per the Window & Door Schedule of as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sized PEF backing rod & MS Sikaflex sealant all to manufacturers details & E2/AS1.

STORMWATER:
* Existing gutters are to be retained unless otherwise specified by the Engineer.

* Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC DWV downpipes & fix in place with grade 316 Stainless Steel Munson Rings.

* Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

| | | | |
|-----|----------------------------|----|-------|
| | | | |
| | | | |
| | | | |
| | | | |
| A | Building Consent/Tender 02 | TJ | 07/13 |
| 0 | Tender 01 | TJ | 07/12 |
| Rev | Issue | By | Date |

Helpen Limited Building Surveyors

127 Park Road, Miramar 6022
 PO Box 15-198, Wellington 6243
 04 388 8666
 04 380 9049
 info@helfen.co.nz

Project: Remedial Works
For Weathertightness
Drummond Street Complex
Mount Cook
Wellington

Title: Existing & Proposed
North Elevation
Block C

Issue: Building Consent/Tender

| | |
|-----------|-----------------|
| Drawn: TJ | Date: July 2013 |
|-----------|-----------------|

| | |
|-------------|-----------------|
| Checked: DS | Scale: 1:100@A2 |
|-------------|-----------------|

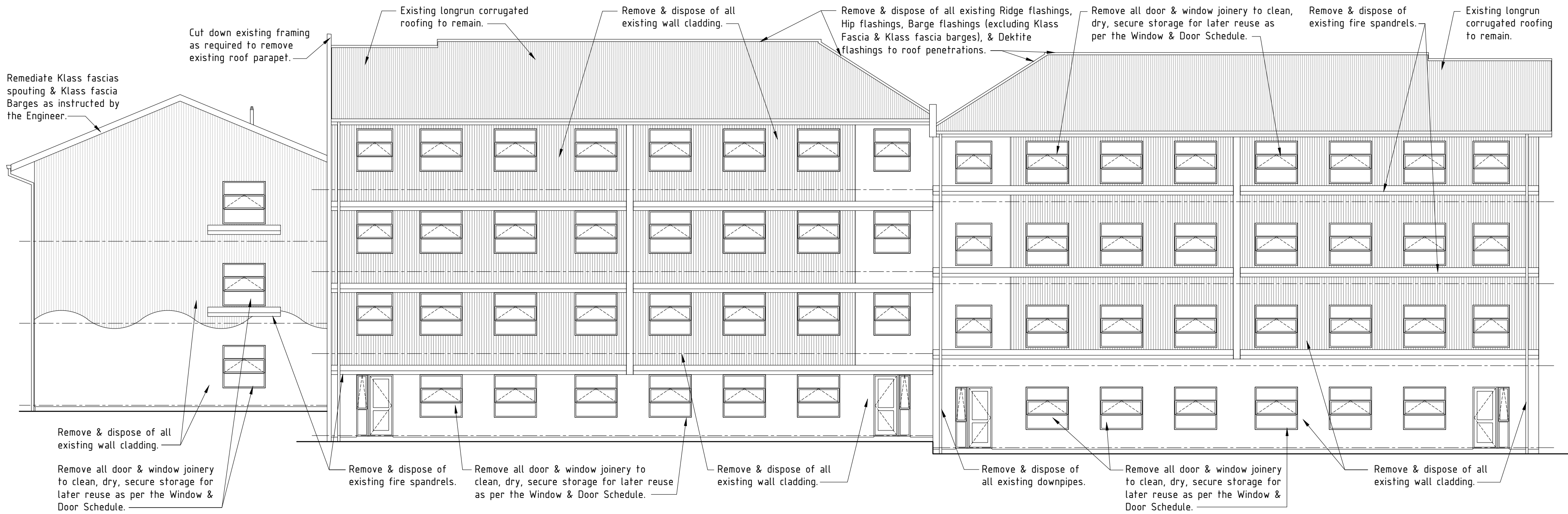
| | |
|---------|------|
| Number: | Rev: |
|---------|------|

| | |
|------|---|
| A202 | A |
|------|---|

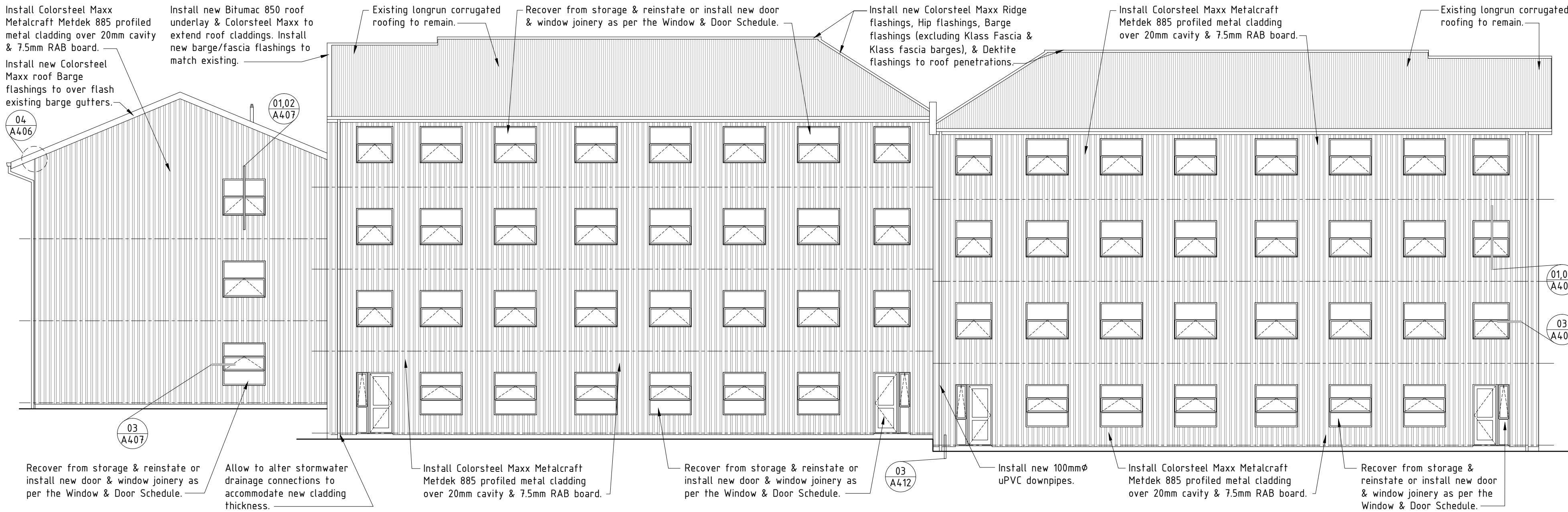
A202

A





EXISTING EAST ELEVATION - BLOCKS C, D & E :



PROPOSED EAST ELEVATION - BLOCK C, D & E :

NOTE:

EXISTING ELEVATIONS :
• All existing wall claddings, & building wrap is to be removed & disposed of.
• Timber & steel framing to be remediated where specified - Engineer to determine on site.
• All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged, wet or surplus insulation is to be disposed of.
• Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.

ALUMINIUM JOINERY:
• All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect following removal. Joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the Engineer.

STORMWATER:
• Existing gutters are to be retained unless otherwise specified by the Engineer.

• Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes.

PROPOSED ELEVATIONS :
• PBS Eterpan Refined panels on PBS VentClad Expressed Joint System on 20mm x 40mm H31 MS08 VentClad timber cavity battens on Marshall Waterproofing Tekton House wrap on 6mm/7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber framing with 105 x 60mm CSK SS screws. Refer to plans and schedule of Works for extent of RAB Boards.
Vertically run Colorsteel Maxx Metdek885 profiled metal wall cladding on 20mm x 40mm H32 MS08 timber cavity battens on Marshall Waterproofing Tekton House Wrap on 7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber structure with 120 x 65mm hex head T17 screws.

ALUMINIUM JOINERY :
• All joinery is to be recovered from storage, remediated or replaced as per the Window & Door Schedule of as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sized PTF backing rod & MS Sikaflex sealant all to manufacturers details & E2/A51.

STORMWATER:
• Existing gutters are to be retained unless otherwise specified by the Engineer.
• Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC DWV downpipes & fix in place with grade 316 Stainless Steel Munson Rings.
• Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

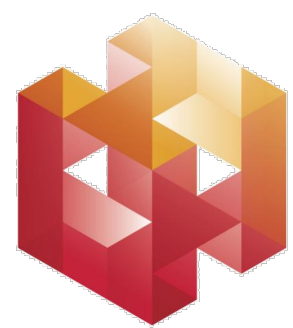
NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

| | | | |
|-----|----------------------------|----|-------|
| A | Building Consent/Tender 02 | TJ | 07/13 |
| 0 | Tender 01 | TJ | 07/12 |
| Rev | Issue | By | Date |

helfen



Helfen Limited Building Surveyors
127 Park Road, Miramar 6022
PO Box 15-198, Wellington 6243
Ph 04 388 8666
Fax 04 380 9049
Email info@helfen.co.nz

Project: Remedial Works
For Weatherhigness
Drummond Street Complex
Mount Cook
Wellington

Title: Existing & Proposed
East Elevation
Blocks C, D, & E

Issue: Building Consent/Tender

Drawn: TJ Date: July 2013

Checked: DS Scale: 1:100@A2

Number: Rev:

A203 A

EXISTING ELEVATIONS :

- * All existing wall claddings, & building wrap is to be removed & disposed of.
- * Timber & steel framing to be remediated where specified - Engineer to determine on site.
- * All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged, wet of surplus insulation is to be disposed of.
- * Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.

* All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect following removal. Joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the Engineer.

* Existing gutters are to be retained unless otherwise specified by the Engineer.

- * Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes.

* PBS Eterpan Refined panels on PBS VentClad
Expressed Joint System on 20mm x 40mm H3.1 MSg8
VentClad timber cavity battens on Marshall
Waterproofing Tekton house wrap on 6mm/7.5mm PBS
Rigid Air Barrier. Cladding to be fixed to timber
framing with 10G x 60mm CSK SS screws.
Refer to plans and schedule of Works for extent of
RAB Boards.

Vertically run Colorsteel Maxx Metdek885 profiled metal wall cladding on 20mm x 40mm H3.2 MSG8 timber cavity battens on Marshall Waterproofing Tekton House Wrap on 7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber structure with 12G x 65mm hex head T17 screws.

- * All joinery is to be recovered from storage, remediated or replaced as per the Window & Door Schedule of as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sized PEF backing rod & MS Sikaflex sealant all to manufacturers details & E2/AS1.

- STORMWATER:
* Existing gutters are to be retained unless otherwise specified by the Engineer.

- * Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC DWV downpipes & fix in place with grade 316 Stainless Steel Munson Rings.

- * Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

| | | | |
|-----|----------------------------|----|-------|
| | | | |
| | | | |
| | | | |
| | | | |
| A | Building Consent/Tender 02 | TJ | 07/13 |
| 0 | Tender 01 | TJ | 07/12 |
| Rev | Issue | By | Date |

127 Park Road, Miramar 6022
 PO Box 15-198, Wellington 6243
 [P/F] 04 388 8666
 [F/H] 04 380 9049
 [E/F] info@helfen.co.nz

Title: Existing & Proposed
East Elevation
Blocks A & B

| | |
|-------------|-----------------|
| Drawn: T.I. | Date: July 2013 |
|-------------|-----------------|

| | |
|-------------|-------------------|
| Checked: DS | Scale: 1:100 @ A2 |
| Mod: 1 | 3 |

| | |
|------|---|
| A204 | A |
|------|---|

A



EXISTING ELEVATIONS :

- * All existing wall claddings, & building wrap is to be removed & disposed of.
- * Exterior & steel framing to be remediated where specified - Engineer to determine on site.
- * All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged & surplus insulation is to be disposed of.
- * Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.

ALUMINIUM JOINEERY:

- * All joinery is to be carefully removed to clean, dry, & undamaged for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect following removal. Joinery is to be remediated or replaced as per the Window & Door Schedule & instructed by the Engineer.

STORMWATER:

- * Existing gutters are to be retained unless otherwise specified by the Engineer.
- * Remove & dispose of all existing 80mm PVC downpipes. All existing 80mm spouting downpipes are to be replaced with accommodate the new 100mm downpipes.

- * PBS Eterpan Refined panels on PBS VentClad
Expressed Joint System on 20mm x 40mm H3.1 MSG8
VentClad timber cavity battens on Marshall
Waterproofing Tekton house wrap on 6mm/7.5mm PBS
Rigid IR Barrier. Cladding to be fixed to timber
framing with 10g x 60mm CSK SS screws.
Refer to plans and schedule of Works for extent of
RAB Boards.
- Vertically run Colorsteel Maxx Metdeck885 profiled
metal wall cladding on 20mm x 40mm H3.2 MSG8 timber
cavity battens on Marshall Waterproofing Tekton
House Wrap on 7.5mm PBS Rigid IR Barrier. Cladding
to be fixed to timber structure with 12g x 65mm hex
head T17 screws.

* All joinery is to be recovered from storage, remediated or replaced as per the Window & Door Schedule of as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sized PEF backing rod & MS Sikaflex sealant all to manufacturers details & E2/AS1.

* Existing gutters are to be retained unless otherwise specified by the Engineer.

- * Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC DWV downpipes & fix in place with grade 316 Stainless Steel Munson Rings.
- * Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

| | | | |
|-----|----------------------------|----|-------|
| | | | |
| | | | |
| | | | |
| | | | |
| A | Building Consent/Tender 02 | TJ | 07/13 |
| 0 | Tender 01 | TJ | 07/12 |
| Rev | Issue | By | Date |

helfen



127 Park Road, Miramar 6022
 PO Box 15-198, Wellington 6243
 04 388 8666
 04 380 9049
 info@helfen.co.nz

Project: Remedial Works
For Weathertightness
Drummond Street Complex
Mount Cook
Wellington

Title: Existing & Proposed
South Elevation
Block C

Issue: Building Consent/Tender

| | |
|-----------|-----------------|
| Drawn: TJ | Date: July 2013 |
|-----------|-----------------|

| | |
|-------------|-----------------|
| Checked: DS | Scale: 1:100@A2 |
|-------------|-----------------|

| | |
|---------|------|
| Number: | Rev: |
|---------|------|

| | |
|-------|---|
| A 205 | A |
|-------|---|

| | |
|------|---|
| AZUJ | A |
|------|---|



NOTE:

- EXISTING ELEVATIONS :
- All existing wall claddings, & building wrap is to be removed & disposed of.
 - Timber & steel framing to be remediated where specified - Engineer to determine on site.
 - All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged, wet of surplus insulation is to be disposed of.
 - Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.
- ALUMINIUM JOINERY:
- All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect following removal. Joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the Engineer.
- STORMWATER:
- Existing gutters are to be retained unless otherwise specified by the Engineer.
 - Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes.
- PROPOSED ELEVATIONS :
- PBS Eterpan Refined panels on PBS VentClad Expressed Joint System on 20mm x 40mm H31 MS08 VentClad timber cavity battens on Marshall Waterproofing Tekton house wrap on 6mm/7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber framing with 10G x 60mm CSK SS screws. Refer to plans and schedule of Works for extent of RAB Boards.
 - Vertically run Colorsteel Maxx Metdek885 profiled metal wall cladding on 20mm x 40mm H32 MS08 timber cavity battens on Marshall Waterproofing Tekton House Wrap on 7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber structure with 12G x 65mm hex head T17 screws.
- ALUMINIUM JOINERY :
- All joinery is to be recovered from storage, remediated or replaced as per the Window & Door Schedule of as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sized PEF backing rod & MS Sealitex sealant all to manufacturers details & E2/AS1.
- STORMWATER:
- Existing gutters are to be retained unless otherwise specified by the Engineer.
 - Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC DWV downpipes & fix in place with grade 316 Stainless Steel Munson Rings.
 - Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

| | | | |
|-----|-------------------------|----|----------|
| A | Building Consent/Tender | TJ | 07/13 |
| 0 | Tender | 01 | TJ 07/12 |
| Rev | Issue | | By Date |



Helfen Limited Building Surveyors
127 Park Road, Miramar 6022
PO Box 15-198, Wellington 6243
Tel: 04 388 8666
Fax: 04 380 9049
Email: info@helfen.co.nz

Project: Remedial Works
For Weatherhigness
Drummond Street Complex
Mount Cook
Wellington

Title: Existing & Proposed
South Elevation
Blocks A & B

Issue: Building Consent/Tender

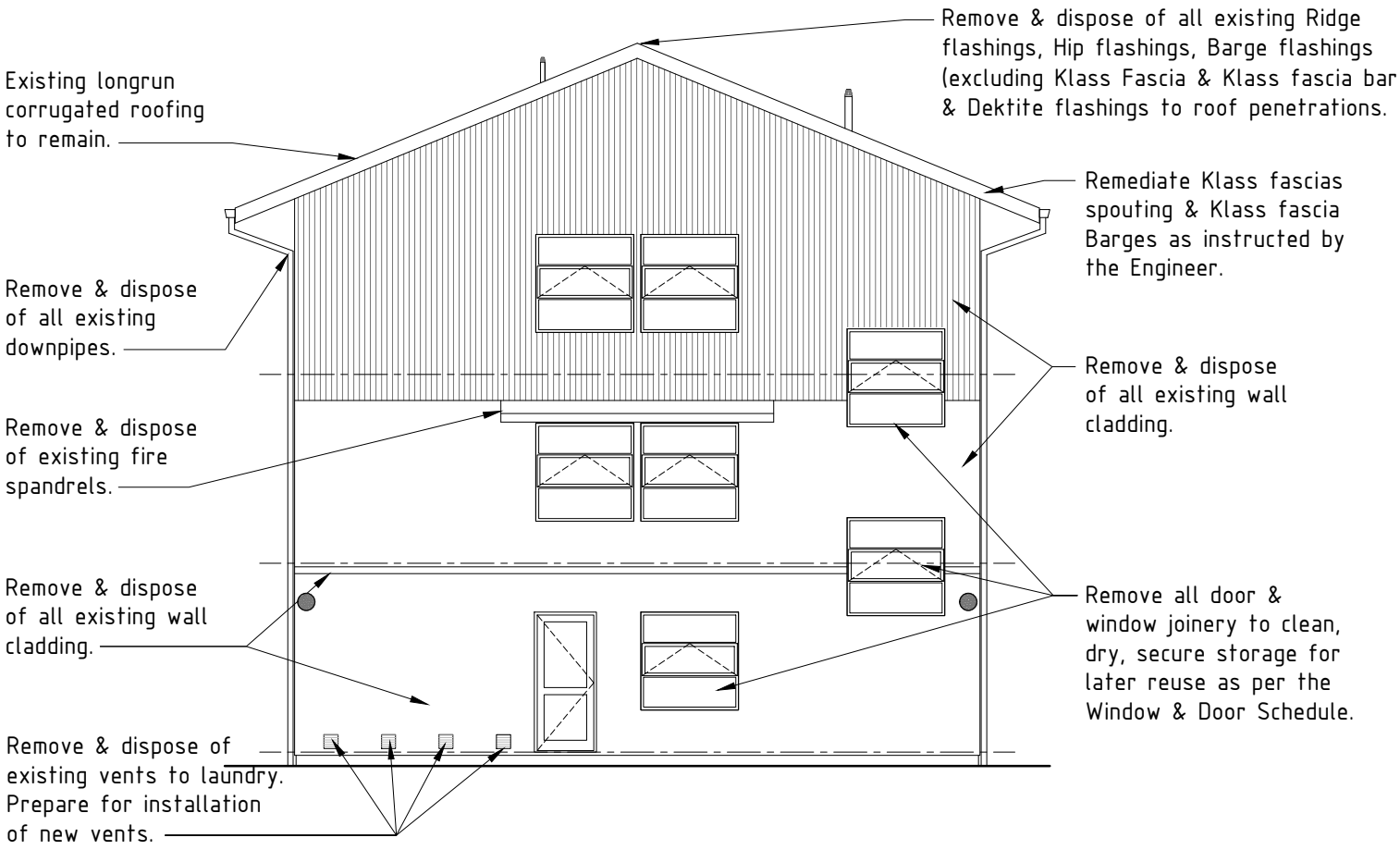
Drawn: TJ Date: July 2013

Checked: DS Scale: 1:100@A2

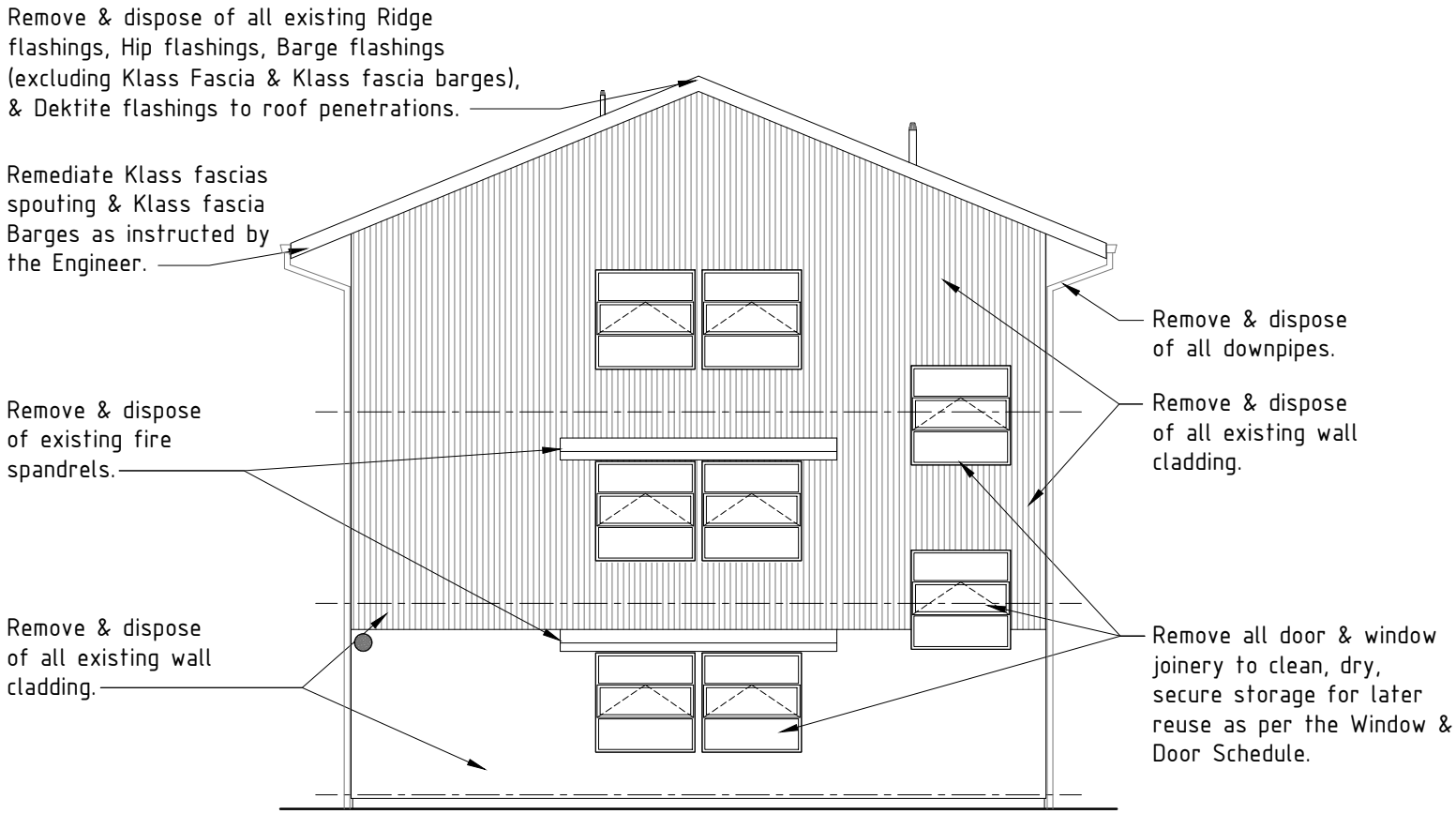
Number: Rev:

A206

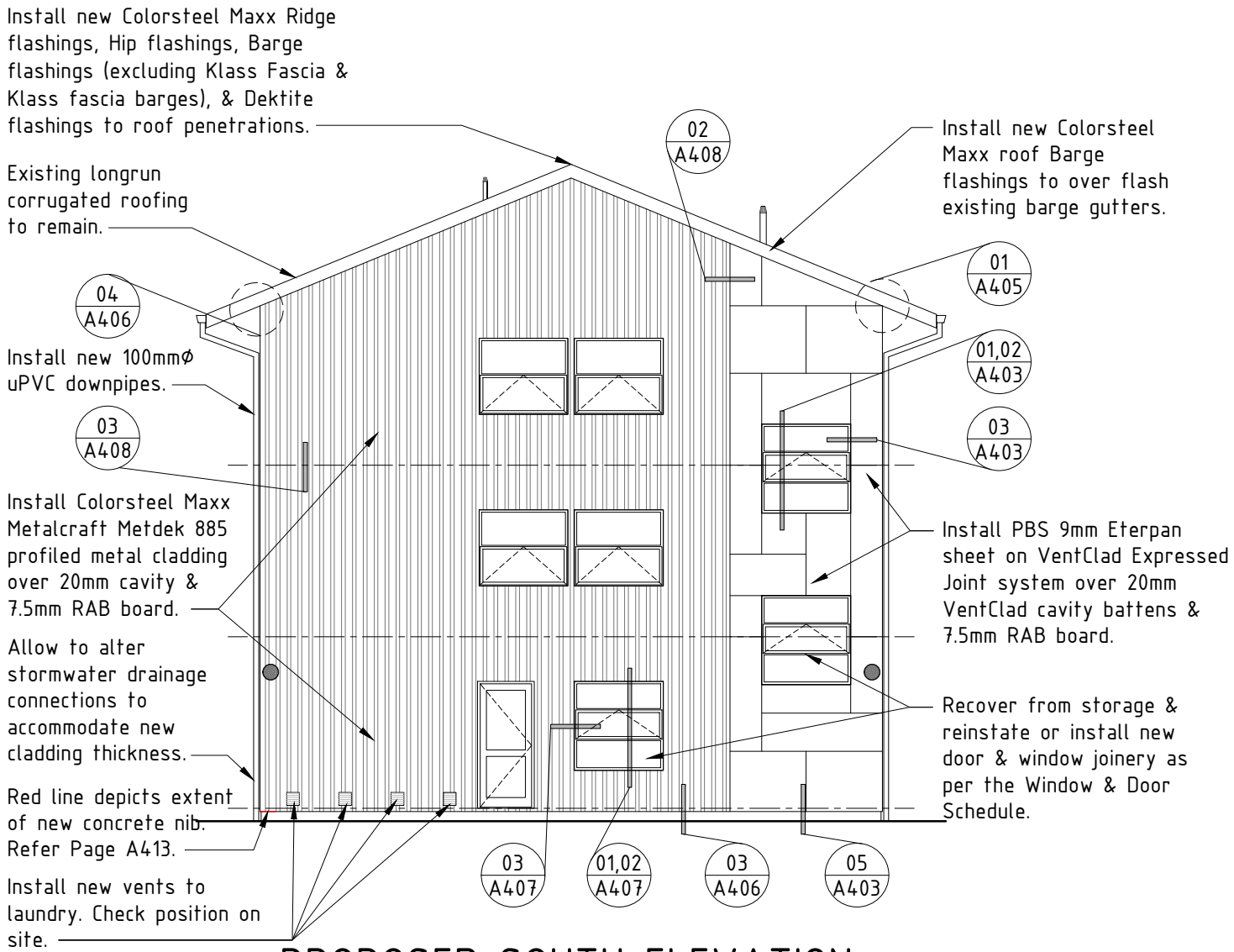
A



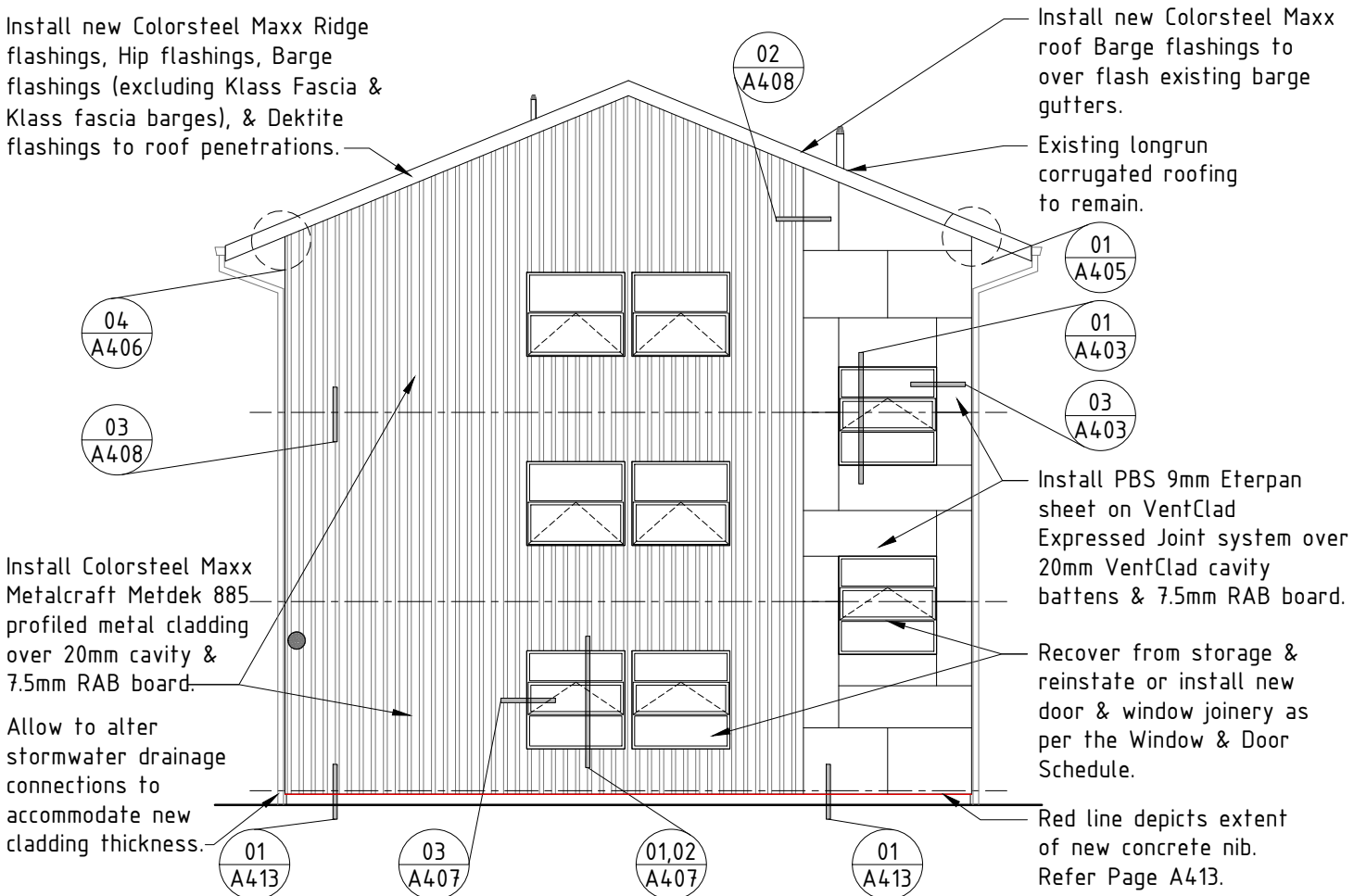
EXISTING SOUTH ELEVATION:
BLOCK A



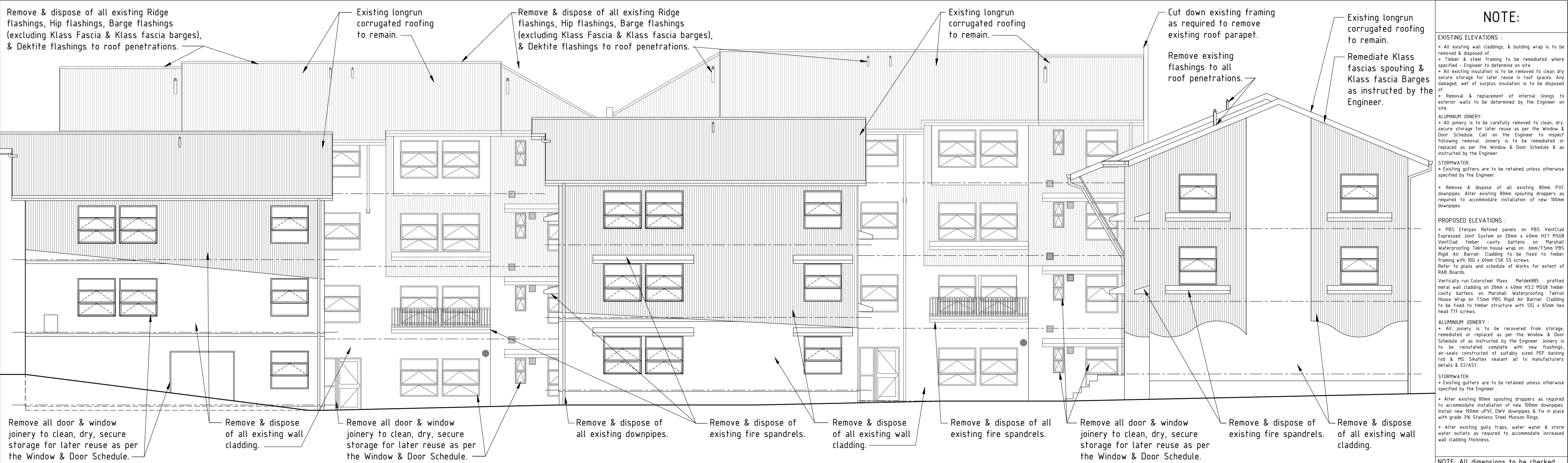
EXISTING SOUTH ELEVATION:
BLOCK B



PROPOSED SOUTH ELEVATION:
BLOCK A



PROPOSED SOUTH ELEVATION:
BLOCK B



EXISTING WEST ELEVATION – BLOCKS A, B & C :

NOTE:

- EXISTING ELEVATIONS :
- All existing wall claddings, & building wrap is to be removed & disposed of.
 - Timber & steel framing to be remediated where specified - Engineer to determine on site.
 - All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged, wet of surplus insulation is to be disposed of.
 - Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.
- ALUMINIUM JOINERY:
- All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect following removal. Joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the Engineer.
- STORMWATER:
- Existing gutters are to be retained unless otherwise specified by the Engineer.
 - Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes.
- PROPOSED ELEVATIONS :
- PBS Eterpan Refined panels on PBS VentClad Expressed Joint System on 20mm x 40mm H31 MS08 VentClad timber cavity battens on Marshall Waterproofing Tekton House Wrap on 6mm/7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber framing with 10G x 60mm CSA SS screws. Refer to plans and schedule of Works for extent of RAB Boards.
 - Vertically run Colorsteel Maxx Metdek885 profiled metal wall cladding on 20mm x 40mm H32 MS08 timber cavity battens on Marshall Waterproofing Tekton House Wrap on 7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber structure with 12G x 65mm hex head T17 screws.
- ALUMINIUM JOINERY :
- All joinery is to be recovered from storage, remediated or replaced as per the Window & Door Schedule of as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sized PFR backing rod & MS Sikaflex sealant all to manufacturers details & E2/AS1.
- STORMWATER:
- Existing gutters are to be retained unless otherwise specified by the Engineer.
 - Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC DWV downpipes & fix in place with grade 316 Stainless Steel Munson Rings.
 - Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

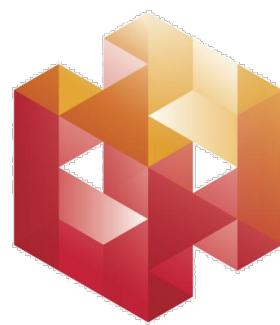
NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

| | | | |
|-----|----------------------------|----|-------|
| A | Building Consent/Tender 02 | TJ | 07/13 |
| 0 | Tender 01 | TJ | 07/12 |
| Rev | Issue | By | Date |

helfen



Helfen Limited Building Surveyors

127 Park Road, Miramar 6022
PO Box 15-198, Wellington 6243
Tel: 04 388 8666
Fax: 04 380 9049
Email: info@helfen.co.nz

Project: Remedial Works For Weatherightness
Drummond Street Complex
Mount Cook
Wellington

Title: Existing & Proposed
West Elevation
Blocks A, B, & E

Issue: Building Consent/Tender

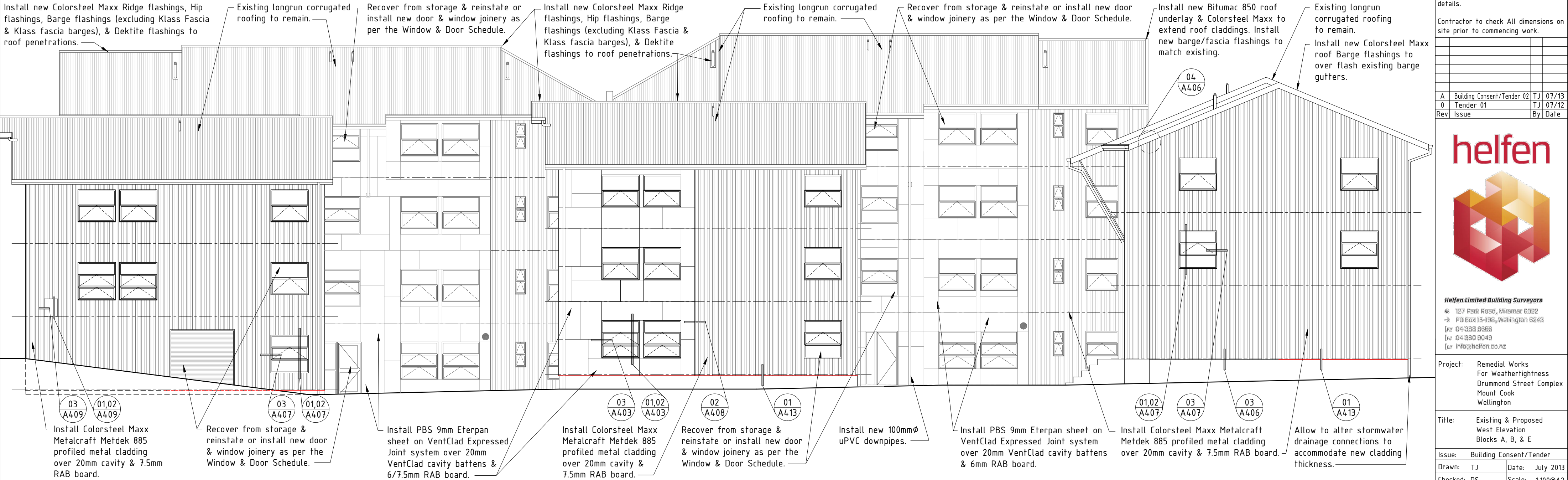
Drawn: TJ Date: July 2013

Checked: DS Scale: 1:100@A2

Number: Rev:

A207

A



PROPOSED WEST ELEVATION – BLOCKS A, B & C :

NOTE:

EXISTING ELEVATIONS :
• All existing wall claddings, & building wrap is to be removed & disposed of.
• Timber & steel framing to be remediated where specified - Engineer to determine on site.
• All existing insulation is to be removed to clean dry secure storage for later reuse in roof spaces. Any damaged, wet of surplus insulation is to be disposed of.
• Removal & replacement of internal linings to exterior walls to be determined by the Engineer on site.

ALUMINIUM JOINERY:
• All joinery is to be carefully removed to clean, dry, secure storage for later reuse as per the Window & Door Schedule. Call on the Engineer to inspect following removal. Joinery is to be remediated or replaced as per the Window & Door Schedule & as instructed by the Engineer.

STORMWATER:
• Existing gutters are to be retained unless otherwise specified by the Engineer.

• Remove & dispose of all existing 80mm PVC downpipes. Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes.

PROPOSED ELEVATIONS :
• PBS Eterpan Refined panels on PBS VentClad Expressed Joint System on 20mm x 40mm H31 MS08 VentClad timber cavity battens on Marshall Waterproofing Tekton Waterproofing Tekton house wrap on 6mm/7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber framing with 10G x 60mm CSK SS screws. Refer to plans and schedule of Works for extent of RAB Boards.
Vertically run Colorsteel Maxx Metdek885 profiled metal wall cladding on 20mm x 40mm H32 MS08 timber cavity battens on Marshall Waterproofing Tekton House Wrap on 7.5mm PBS Rigid Air Barrier. Cladding to be fixed to timber structure with 12G x 65mm hex head T17 screws.

ALUMINIUM JOINERY :
• All joinery is to be recovered from storage, remediated or replaced as per the Window & Door Schedule of as instructed by the Engineer. Joinery is to be reinstated complete with new flashings, air-seals constructed of suitably sized PTF backing rod & MS Sikaflex sealant all to manufacturers details & E2/AS1.

STORMWATER:
• Existing gutters are to be retained unless otherwise specified by the Engineer.
• Alter existing 80mm spouting droppers as required to accommodate installation of new 100mm downpipes. Install new 100mm uPVC DWV downpipes & fix in place with grade 316 Stainless Steel Munson Rings.
• Alter existing gully traps, water water & storm water outlets as required to accommodate increased wall cladding thickness.

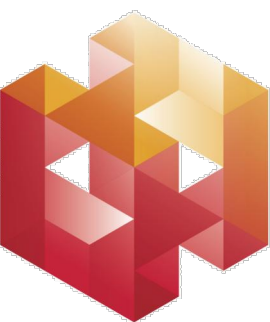
NOTE: All dimensions to be checked on site prior to commencing work. Do not scale from drawings. Copyright remains property of Helfen Limited.

Refer to product Sheet/ Installation Guides for full fixing & installation details.

Contractor to check All dimensions on site prior to commencing work.

| | | | |
|-----|----------------------------|----|-------|
| A | Building Consent/Tender 02 | TJ | 07/13 |
| 0 | Tender 01 | TJ | 07/12 |
| Rev | Issue | By | Date |

helfen



Helfen Limited Building Surveyors

127 Park Road, Miramar 6022
PO Box 15-198, Wellington 6243
Tel: 04 388 8666
Fax: 04 380 9049
Email: info@helfen.co.nz

Project: Remedial Works
For Weatherhigness
Drummond Street Complex
Mount Cook
Wellington

Title: Existing & Proposed
West Elevation
Blocks D & E

Issue: Building Consent/Tender

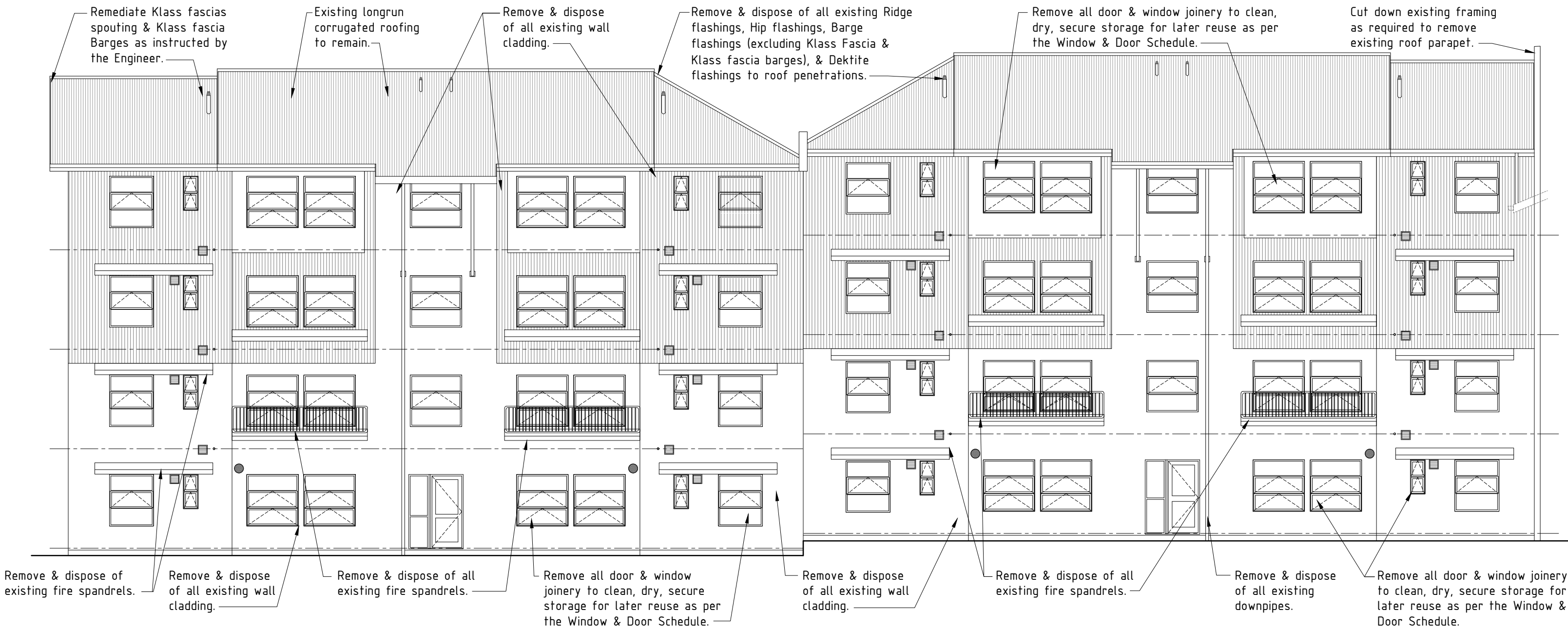
Drawn: TJ Date: July 2013

Checked: DS Scale: 1:100@A2

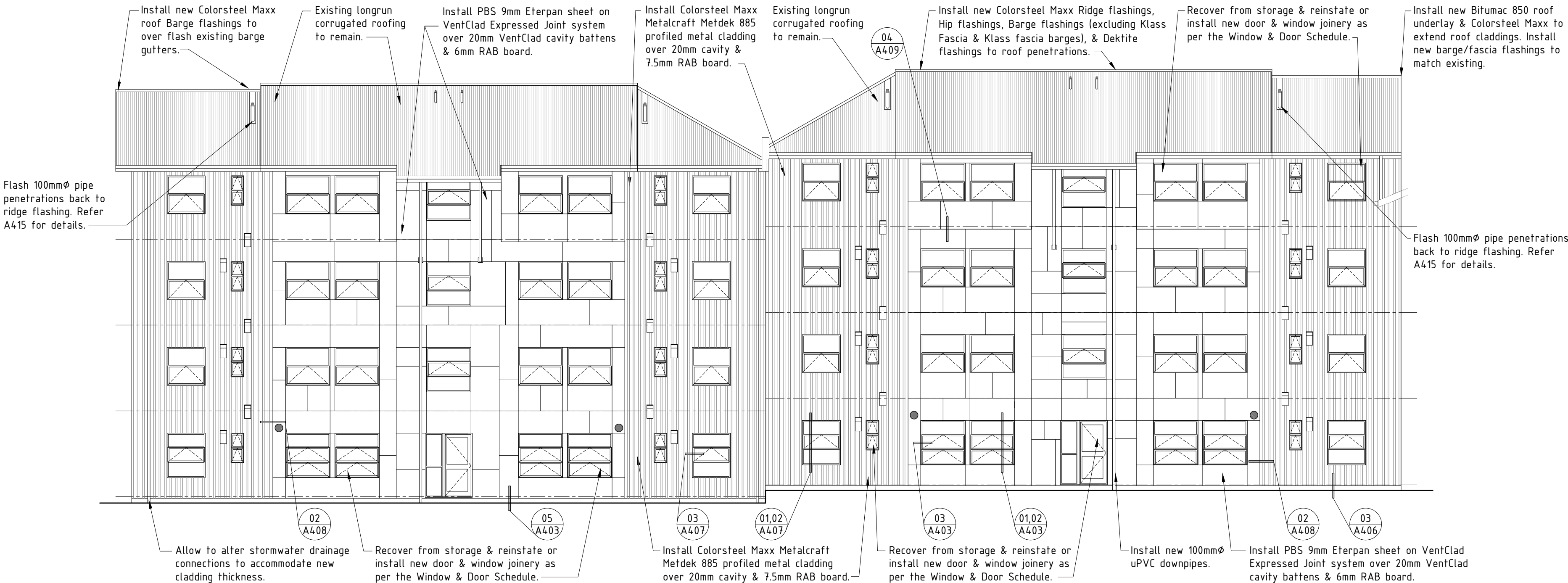
Number: Rev:

A208

A



EXISTING WEST ELEVATION - BLOCK D & BLOCK E :



PROPOSED WEST ELEVATION - BLOCK D & BLOCK E :